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GENERAL NOTES													
<div>A. ALL CONTRACTORS ARE RESPONSIBLE FOR PROVIDING COMPLETE INSTALLATION OF ALL COMPONENTS AND SHALL COORDINATE THEIR SCOPE OF WORK WITH ALL OTHER TRADES PRIOR TO SUBMITTING BIDS TO ENSURE THERE ARE NO MISSING OR DUPLICATE COMPONENTS WITH-IN THEIR SCOPE</div> <div>B. DO NOT SCALE DRAWINGS. USE INDICATED DIMENSIONS ONLY.</div> <div>C. SHOULD A CONTRACTOR FIND DISCREPANCIES OR AMBIGUITIES IN OR OMISSIONS FROM THE DRAWINGS OR SPECIFICATIONS, OR BE IN DOUBT ABOUT THEIR MEANING, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.</div> <div>D. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE JOB DURING CONSTRUCTION LAYOUT AND ADVISE THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY WORK.</div> <div>E. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS ON-SITE AND ADVISING ARCHITECT OF ANY DISCREPANCIES WITH DEMOLITION OR NEW WORK PLANS PRIOR TO PERFORMING ANY WORK.</div> <div>F. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF ANY UNFORESEEN STRUCTURAL OR UTILITY RELATED ISSUES ARISE DURING DEMOLITION OR EXCAVATION.</div> <div>G. ALL SPECIFIED ITEMS SHALL BE PROVIDED AND INSTALLED PER MANUFACTURERS WRITTEN REQUIREMENTS</div>													
BUILDING CODE INFORMATION													
<table><tr><td>BUILDING CODE</td><td>2014 INDIANA BUILDING CODE</td></tr><tr><td>ENERGY CODE</td><td>2010 INDIANA ENERGY CONSERVATION CODE</td></tr><tr><td>PLUMBING CODE</td><td>2012 INDIANA PLUMBING CODE</td></tr><tr><td>MECHANICAL CODE</td><td>2014 INDIANA MECHANICAL CODE</td></tr><tr><td>ELECTRICAL CODE</td><td>2009 INDIANA ELECTRICAL CODE</td></tr><tr><td>ADA</td><td>2014 INDIANA BUILDING CODE</td></tr></table> <div>DESIGN CRITERIA</div> <div>SEE STRUCTURAL DRAWINGS FOR STRUCTURAL DESIGN CRITERIA</div>		BUILDING CODE	2014 INDIANA BUILDING CODE	ENERGY CODE	2010 INDIANA ENERGY CONSERVATION CODE	PLUMBING CODE	2012 INDIANA PLUMBING CODE	MECHANICAL CODE	2014 INDIANA MECHANICAL CODE	ELECTRICAL CODE	2009 INDIANA ELECTRICAL CODE	ADA	2014 INDIANA BUILDING CODE
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ADA	2014 INDIANA BUILDING CODE												
PROJECT INFORMATION	THERMAL												
<table><tr><td>OCCUPANCY</td><td>E</td></tr><tr><td>TOTAL AREA OF CONSTRUCTION</td><td>5980</td></tr><tr><td>NUMBER OF STORIES (EXISTING)</td><td>3 + BASEMENT</td></tr></table>	OCCUPANCY	E	TOTAL AREA OF CONSTRUCTION	5980	NUMBER OF STORIES (EXISTING)	3 + BASEMENT							
OCCUPANCY	E												
TOTAL AREA OF CONSTRUCTION	5980												
NUMBER OF STORIES (EXISTING)	3 + BASEMENT												
PROJECT TEAM													
<div><div><div><div></div><div>ABONMARCHÉ</div></div><div>ARCHITECTURAL / CIVIL / STRUCTURAL / INTERIOR DESIGN</div><div>ABONMARCHÉ CONSULTANTS, INC</div><div>315 W. JEFFERSON BLVD.</div><div>SOUTH BEND, IN 46601</div></div></div>													

PROJECT TYPE	
MHS BAND AND CHOIR RENOVATION	
SCHOOL CITY OF MISHAWAKA	
PROJECT ADDRESS	
1202 LINCOLNWAY EAST MISHAWAKA, IN 46544	
PERSPECTIVE VIEW	
	
LOCATION MAP	
	

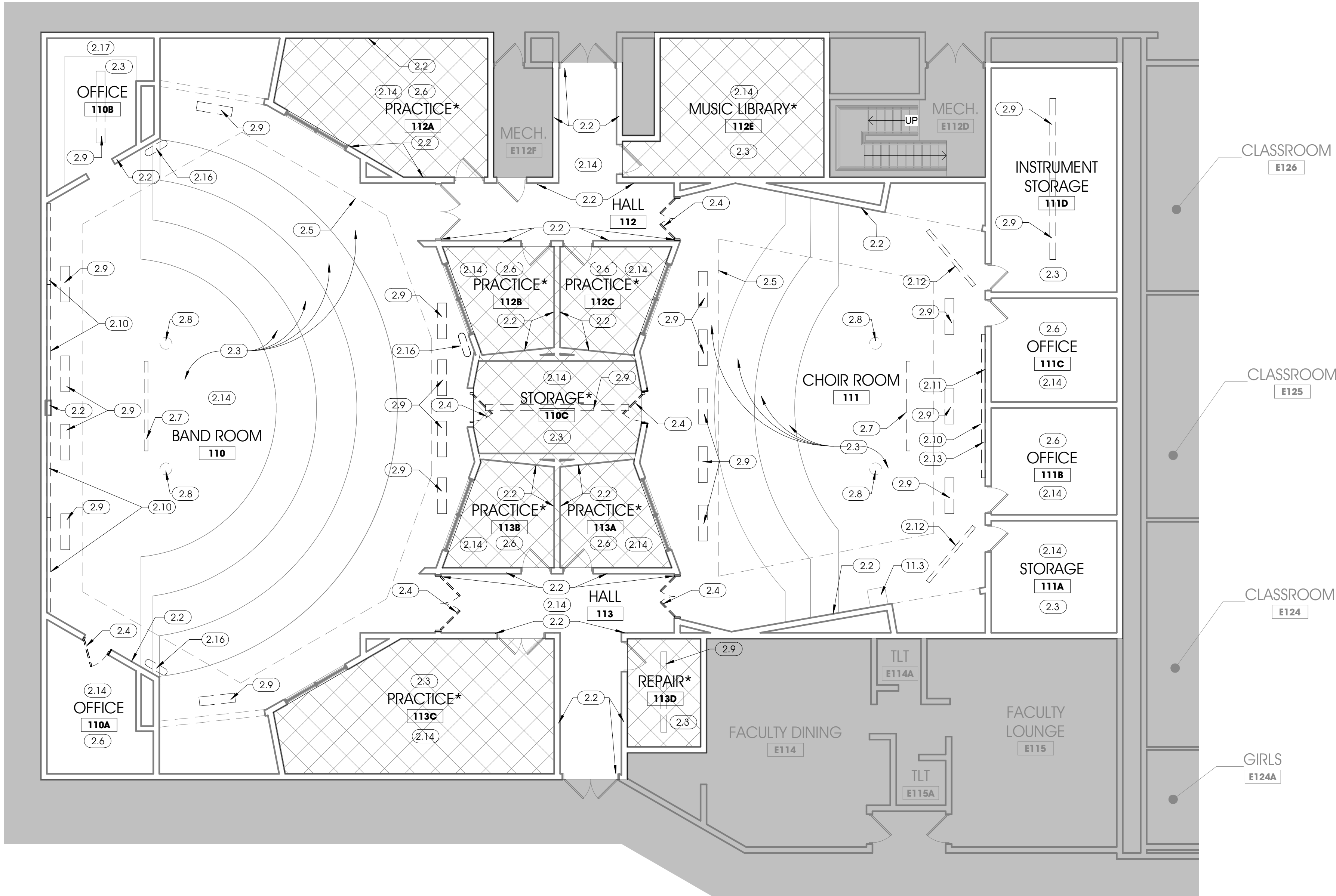
SHEET INDEX	
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ARCHITECTURAL DRAWINGS	
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A2.1	FIRST FLOOR - REFLECTED CEILING CONSTRUCTION PLAN
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A3.2	INTERIOR ELEVATIONS
A9.1	FINISH PLAN & DOOR SCHEDULE
ELECTRICAL DRAWINGS	
E1.1	FIRST FLOOR - ELECTRICAL POWER PLAN

ALTERNATES			
ALTERNATE #1			
1. BASE BID: EXISTING FLOOR FINISHES SHALL REMAIN IN STORAGE 110C, PRACTICE 112A, PRACTICE 112B, PRACTICE 112C, MUSIC LIBRARY 112E, PRACTICE 113A, PRACTICE 113B, PRACTICE 113C, REPAIR 113D			
2. ALTERNATE: REMOVE EXISTING FLOOR FINISHES & WALL BASE IN STORAGE 110C, PRACTICE 112A, PRACTICE 112B, PRACTICE 112C, MUSIC LIBRARY 112E, PRACTICE 113A, PRACTICE 113B, PRACTICE 113C, REPAIR 113D. PROVIDE NEW FLOOR FINISHES & WALL BASE AS SHOWN IN CONSTRUCTION DOCUMENTS			
ALLOWANCES			
ALLOWANCE #1			
1. BASE BID SHALL INCLUDE \$15,000.00 LINE ITEM TO REMOVE ADHESIVE FROM WALLS BEHIND ACOUSTICAL CARPETING			
NO.	REVISION DESCRIPTION	BY	DATE

ABONMARCHÉ		SCHOOL CITY OF MISHAWAKA	
315 W. JEFFERSON BLVD		MISHAWAKA	
SOUTH BEND, IN 46601		MHS BAND AND CHOIR	
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F 574.251.4440		1202 LINCOLNWAY EAST	
abonmarche.com			
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PROJECT: SCHOOL CITY OF MISHAWAKA		TITLE SHEET	
MODELED BY: CMM, OGG, JCH		SHEET TITLE:	
DESIGNED BY: ARD		SEAL: ARTHUR R. DELAUNE, REGISTERED PROFESSIONAL ARCHITECT, STATE OF INDIANA, AR11300081	
PM REVIEW: MDN		SIGNATURE: [Signature]	
QA/QC REVIEW: MDN		DATE:	
DATE: 2/22/2023		HARD COPY IS INTENDED TO BE 24" x 36" WHEN PLOTTED SCALE(S) INDICATED AND GRAPHIC QUALITY MAY NOT BE ACCURATE FOR ANY OTHER SIZES	
SCALE: UNLESS NOTED OTHERWISE		ACI JOB # 22-1722	
SHEET NO. T1.1			



ITEMS TO REMOVE BEFORE DEMO OF WALL CARPET (TO BE REINSTALLED AFTER CONSTRUCTION):



GENERAL NOTES - DEMO

- A. DO NOT SCALE DRAWINGS - USE WRITTEN DIMENSIONS PROVIDED ONLY.
- B. ALL SPECIFIED ITEMS SHALL BE PROVIDED BY THE GENERAL CONTRACTOR AS COMPLETE SYSTEMS WITH ALL ACCESSORY ITEMS REQUIRED FOR A COMPLETE INSTALLATION. GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH ALL TRADES, CONSTRUCTION TYPES, ETC...TO PREVENT EXCLUSION OR DUPLICATION. GENERAL CONTRACTORS BIDS SHALL BE ALL INCLUSIVE.
- C. CONTRACTOR SHALL FIELD VERIFY ALL DOOR SIZES.
- D. CONTRACTOR SHALL FIELD VERIFY ALL FACETED WALL DIMENSIONS.
- E. ALL EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS TEMPORARILY REMOVED, SHALL BE CLEANED AND REINSTALLED.
- F. ALL EXISTING WALL DEVICES (OUTLETS, SWITCHES, ETC) SHALL BE RELOCATED TO NEW WALL SURFACES.
- G. WHERE MATERIALS ARE NOTED WITHOUT LEADER ARROWS, NOTED MATERIAL IS ASSUMED THROUGHOUT SPACE.

KEYNOTES - DEMO D1.1

KEYNOTE	DESCRIPTION
2.2	DEMO ACOUSTICAL WALL CARPET & SCRAPE UNDERLYING ADHESIVE TO PREPARE FOR REFINISHING
2.3	REMOVE EXISTING VCT FLOORING, STAIR NOSINGS AND RISER MATERIAL.
2.4	REMOVE EXISTING DOOR, EXISTING DOOR FRAMES TO REMAIN.
2.5	REMOVE AND SALVAGE EXISTING SUSPENDED CEILING CLOUD, INCLUDING CEILING TILES, LIGHT FIXTURES, ACOUSTIC INSULATION, FOR REINSTALLATION. REFER TO SHEET A2.1 FOR MORE INFORMATION.
2.6	GLUE DOWN BROADLOOM CARPET TO BE REMOVED.
2.7	REMOVE EXISTING TRACK LIGHTING IN ITS ENTIRETY.
2.8	REMOVE EXISTING MICROPHONE IN ITS ENTIRETY.
2.9	DEMO/ REMOVE EXISTING SUSPENDED LIGHT FIXTURES.
2.10	REMOVE EXISTING CHALKBOARD/ WHITEBOARD AND ALL RELATED ITEMS IN THEIR ENTIRETY. SALVAGE PROJECTOR SCREEN MOUNTING BRACKETS FOR REUSE
2.11	REMOVE EXISTING MIRRORS, FASTENERS, ADHESIVE, ETC... LEAVE WALLS CLEAN AND READY TO RECEIVE NEW FINISHES
2.12	REMOVE EXISTING TV/MONITOR FOR CONSTRUCTION. PROTECT FOR REUSE
2.13	REMOVE EXISTING PROJECTOR SCREEN & SCREEN MOUNTING SYSTEM. PROTECT FOR REUSE.
2.14	DEMO EXIST. ACOUSTICAL TILES. GRID TO REMAIN
2.16	REMOVE EXISTING WALL HUNG FANS & SALVAGE FOR RE-USE
2.17	EXISTING CABINETS IN OFFICE 110B TO REMAIN PROTECT DURING DEMO & CONSTRUCTION
11.3	EXISTING AV RECIEVER CASE

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ENGINEERING ARCHITECTURE LAND SURVEYING

SCHOOL CITY OF  
MISHAWAKA  
MHS BAND AND CHOIR  
RENOVATION  
1202 LINCOLNWAY EAST  
MISHAWAKA, IN 46544

FIRST FLOOR - DEMOLITION  
PLAN

MODELED BY: CMM, JCH

DESIGNED BY: ARD

PM REVIEW: MDN

QA/QC REVIEW: MDN

DATE: 2/22/2023

SEAL: ARNOLD R. DELARUE  
REGISTERED  
ARCHITECT  
STATE OF INDIANA  
AR11300081

SIGNATURE: [Signature]

DATE:

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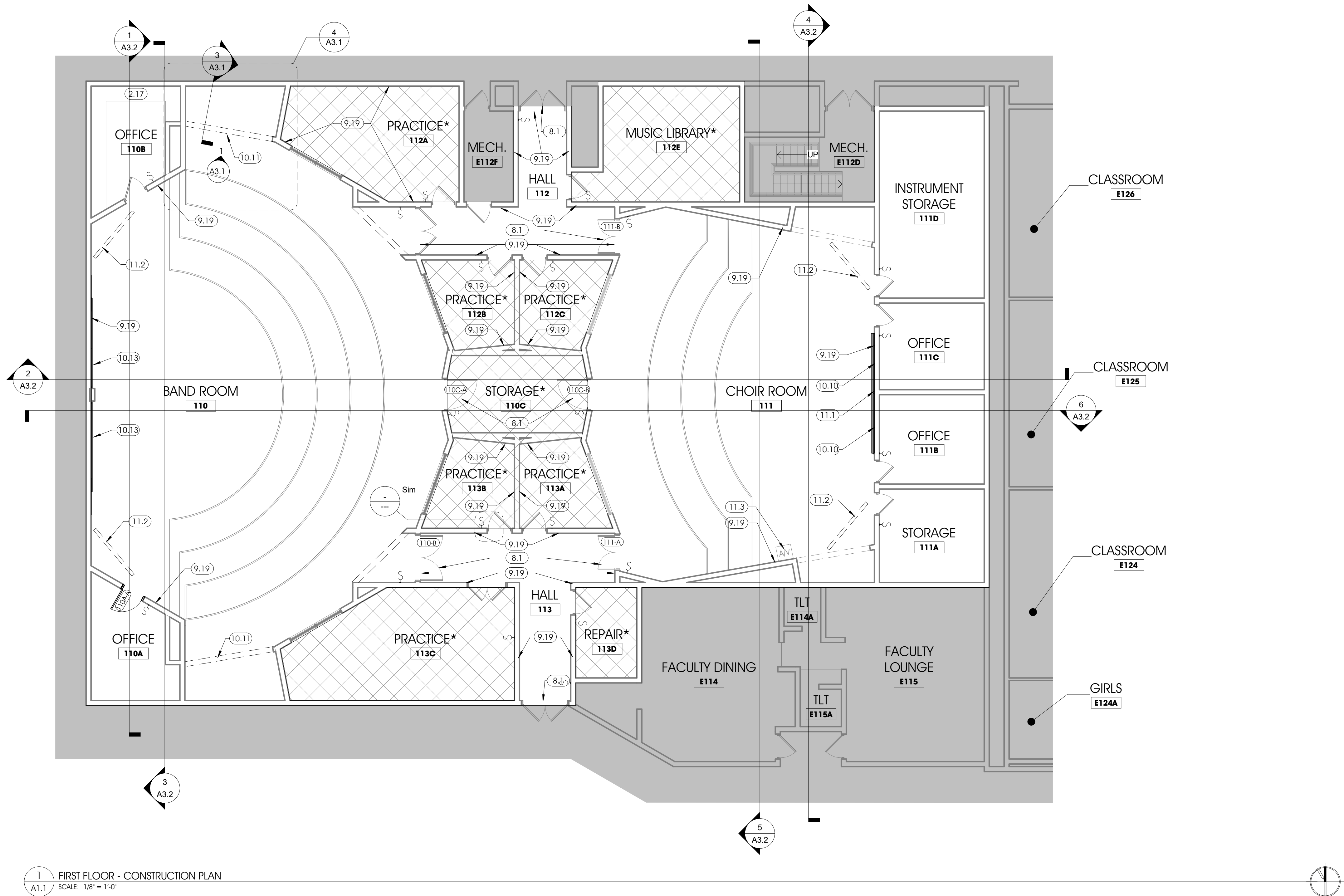
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SHEET NO. D1.1

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1  
A1.1  
FIRST FLOOR - CONSTRUCTION PLAN  
SCALE: 1/8" = 1'-0"

## GENERAL NOTES - FLOOR PLAN

- A. DO NOT SCALE DRAWINGS - USE WRITTEN DIMENSIONS PROVIDED ONLY
- B. BAND AND CHOIR ROOM WALLS ARE CMU (U.N.O.)
- C. EXISTING TV/MONITORS SHALL REMAIN. TEMPORARILY REMOVE AND REINSTALL AS REQUIRED FOR NEW CONSTRUCTION/FINISHES. PROVIDE WIREMOLD AND CABLE MANAGEMENT FOR ALL POWER AND DATA CABLING FROM TV TO ALL OUTLETS AND DEVICES (TYP)
- D. CABLE MOLD DATA AND POWER CABLING SEPERATE.
- E. GROUT IN HOLES IN CONCRETE WALL SURFACES FROM ALL REMOVED WALL MOUNTED FIXTURES.
- F. ALL AREAS WHERE ACOUSTICAL CARPET WAS DEMOLISHED SCRAPE, REPAIR, AND FINISH WALLS TO LEVEL 4 FINISH.

## SCOPE OF WORK

- BASE BID ☐
- ALTERNATE #1 ☒
- OUTSIDE OF SCOPE ☐

## KEYNOTES - CONST. A1.1

KEYNOTE	DESCRIPTION
2.17	EXISTING CABINETRY IN OFFICE 110B TO REMAIN PROTECT DURING DEMO. & CONSTRUCTION.
8.1	NEW WOOD FLUSH PANEL WOOD DOORS REFERENCE SHEET A9.1 FOR DOOR INFO. PAINT FRAME PT-3
9.19	REFINISH WALL AFTER CARPET DEMO. SKIM ALL REVEALED EXISTING BLOCK FROM FLOOR TO CEILING AND FINISH TO LEVEL 4, PAINT GYPSUM WITH PT-2
10.10	PROVIDE 48"X96" PREMIUM FRAMELESS PAINTED EDGE PORCELAIN MAGNETIC WHITEBOARD, 2 BAR MOUNT, WITH FULL BLADE MARKER TRAY FROM BRITE INC./ US MARKERBOARD PHONE: 800-791-2946 REF. ESTIMATE# E350626 ACCOUNT# 1377222
10.11	NEW SHELVING SYSTEM FOR PLAM LOCKERS REFER TO SHEET A3.1
10.12	RELOCATE EXISTING PROJECTOR SCREEN & MOUNT TO WALL AT 7 AFF
10.13	PROVIDE 48"X144" PREMIUM FRAMELESS PAINTED EDGE PORCELAIN MAGNETIC WHITEBOARD, 2 BAR MOUNT, WITH FULL BLADE MARKER TRAY FROM BRITE INC./ US MARKERBOARD PHONE: 800-791-2946 REF. ESTIMATE# E350626 ACCOUNT# 1377222
11.1	MOUNT RETRACTABLE PROJECTION SCREEN TO WALL AT 7 AFF USING SALVAGED PROJECTOR BRACKET
11.2	REMOVE AND REINSTALL ALL TELEVISIONS FOR CONSTRUCTION. PROVIDE WIRE MOLDS FOR CABLE MANAGEMENT.

PROJECT: SCHOOL CITY OF MISHAWAKA  
MHS BAND AND CHOIR RENOVATION  
1202 LINCOLNWAY EAST  
MISHAWAKA, IN 46544

SHEET TITLE:  
FIRST FLOOR - CONSTRUCTION PLAN

MODELED BY: CMM, JCH  
DESIGNED BY: ARD  
PM REVIEW: MDN  
QA/QC REVIEW: MDN  
DATE: 2/22/2023

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SIGNATURE:

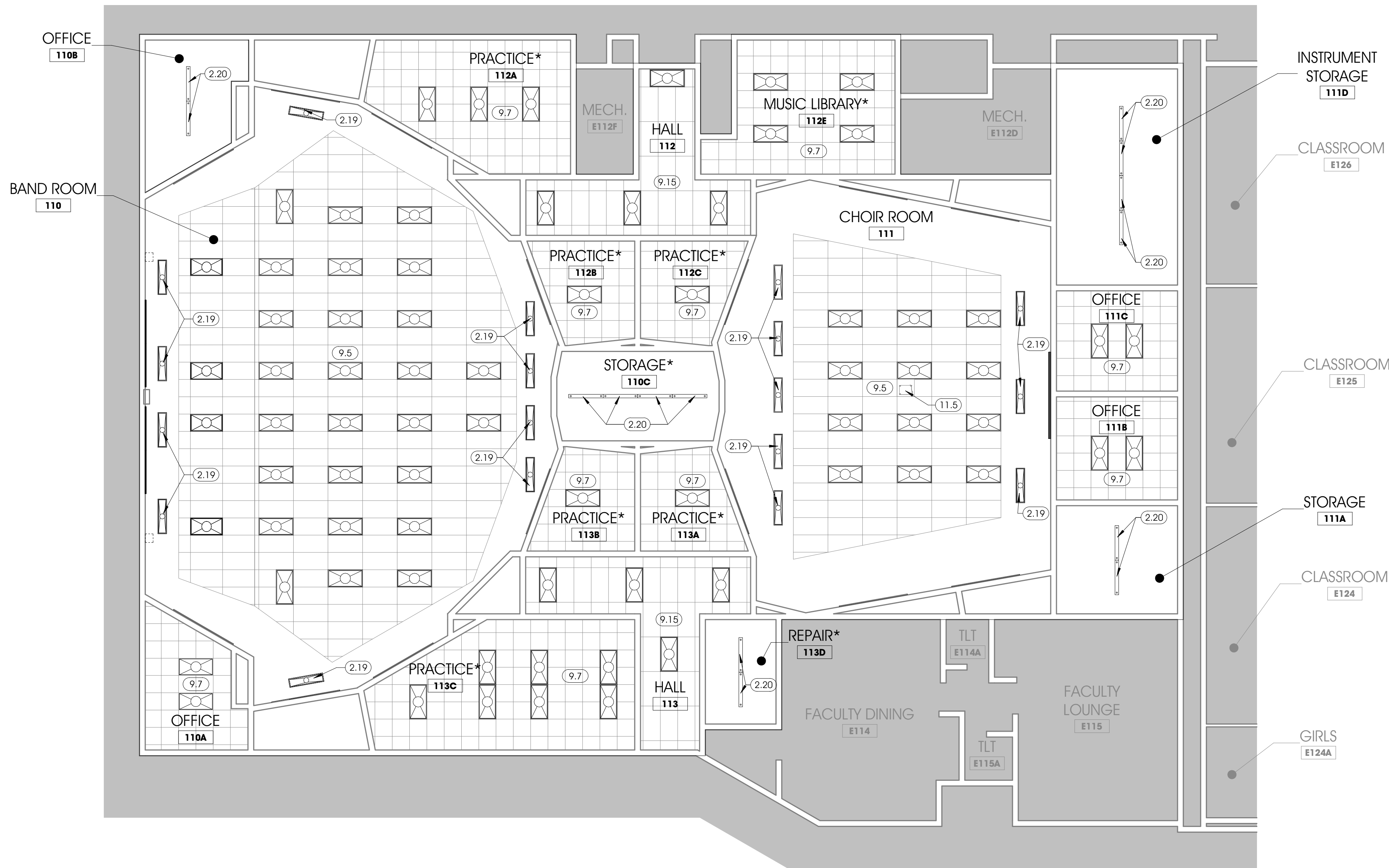
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1 REFLECTED CEILING PLAN - FIRST FLOOR  
A2.1 SCALE: 1/8" = 1'-0"

## GENERAL NOTES - REFLECTED CEILING PLAN/ ELECTRICAL POWER & LIGHTING PLAN

- DO NOT SCALE DRAWINGS - USE WRITTEN DIMENSIONS PROVIDED ONLY.
- REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO VERIFY ALL ELECTRICAL BREAKERS IN DESIGNATED SCOPE ARE DEACTIVATED PRIOR TO CONSTRUCTION.
- NEW LIGHT FIXTURES TO BE INSTALLED IN SAME LOCATION AS EXIST. FIXTURES.
- DATA AND POWER CABLES TO BE CABLE MOLDED SEPERATELY.
- SWITCH FROM SINGLE POLE SWITCHES TO 3-WAY OF MATCHING STYLE AND COLOR AS NEEDED
- ALL NEW DIMMER SWITCHES TO BE CURRENT LIGHTING RSD710-UNV-WVL 120 V IN COLOR: WHITE
- ALL REGULAR SWITCHES TO BE REPLACED TO LEVITON 5601-2AW IN COLOR: WHITE
- ALL OCCUPANCY SENSOR SWITCHES SHALL BE LEVITON OD06
- ALL L3 FIXTURES TO BE SUSPENDED FROM CEILING USING #12 SINGLE LOOP, ZINC PLATED STEEL JACK CHAIN.

### SCOPE OF WORK

BASE BID	<input type="checkbox"/>
ALTERNATE #1	<input checked="" type="checkbox"/>
OUTSIDE OF SCOPE	<input type="checkbox"/>

### KEYNOTES - CONST. A2.1

KEYNOTE	DESCRIPTION
2.19	SURFACE MOUNT NEW LED LIGHT FIXTURES IN SAME LOCATION AS EXIST.
2.20	MOUNT NEW SUSPENDED LED LIGHT FIXTURES USING _____ SUSPENSION HARDWARE IN SAME LOCATION AS EXIST AT _____ 'AFF?.
9.5	REPLACE EXISTING CEILING TILES W/ ACT-2 AND PAINT GRID PT-4. REASSEMBLE ACOUSTICAL CLOUD TO MATCH EXISTING CONDITIONS.
9.7	PAINT EXISTING GRID PT-4. INSTALL NEW CEILING TILES ACT-1
9.15	PAINT EXISTING GRID PT-4. INSTALL NEW CEILING TILES ACT-2
11.5	REMOVE AND REINSTALL SALVAGED PROJECTOR ON ACOUSTICAL CLOUD.

PROJECT: SCHOOL CITY OF  
MISHAWAKA  
MHS BAND AND CHOIR  
RENOVATION  
1202 LINCOLNWAY EAST  
MISHAWAKA, IN 46544

## FIRST FLOOR - REFLECTED CEILING CONSTRUCTION PLAN

SHEET TITLE:

MODELED BY:  
CMM, OGG, JCH

DESIGNED BY:  
ARD

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MDN

QA/QC REVIEW:  
MDN

DATE:  
2/22/2023

SEAL:



SIGNATURE:  
DATE:

DATE:

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A2.1

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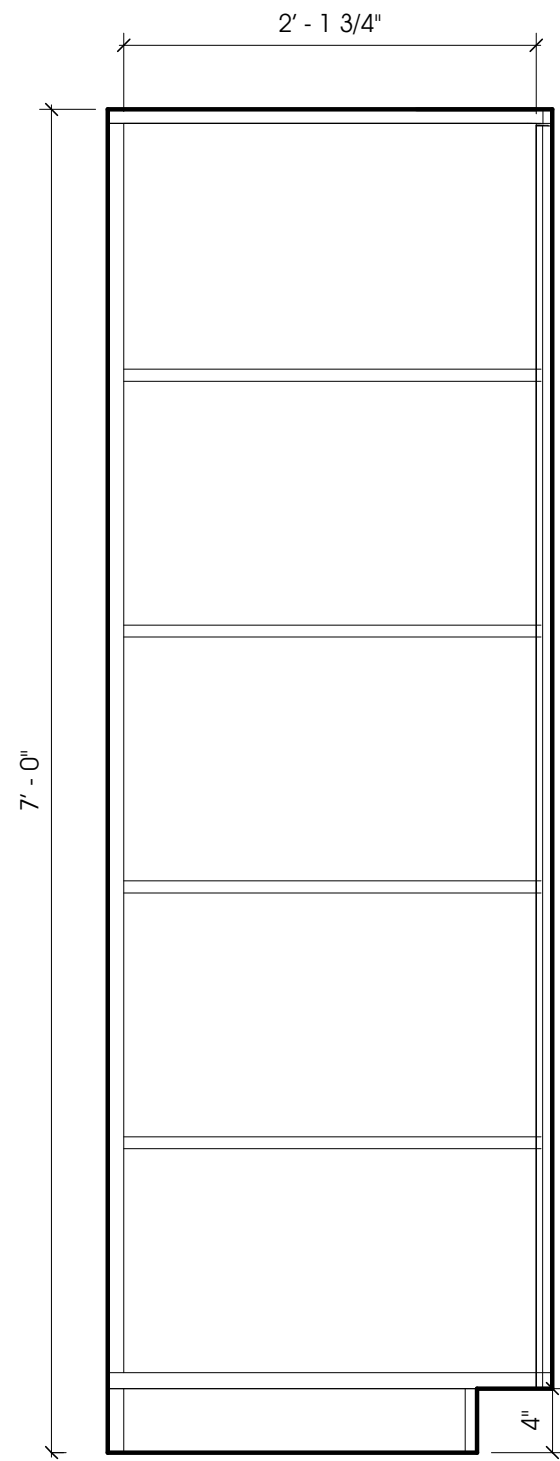
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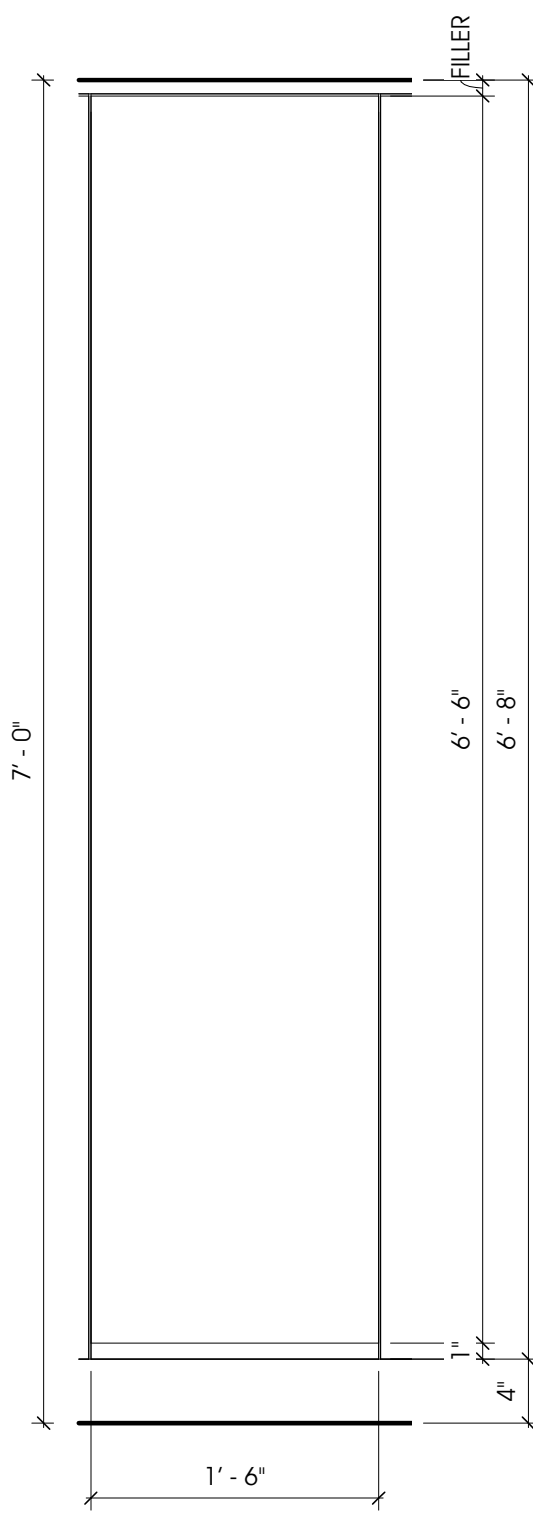
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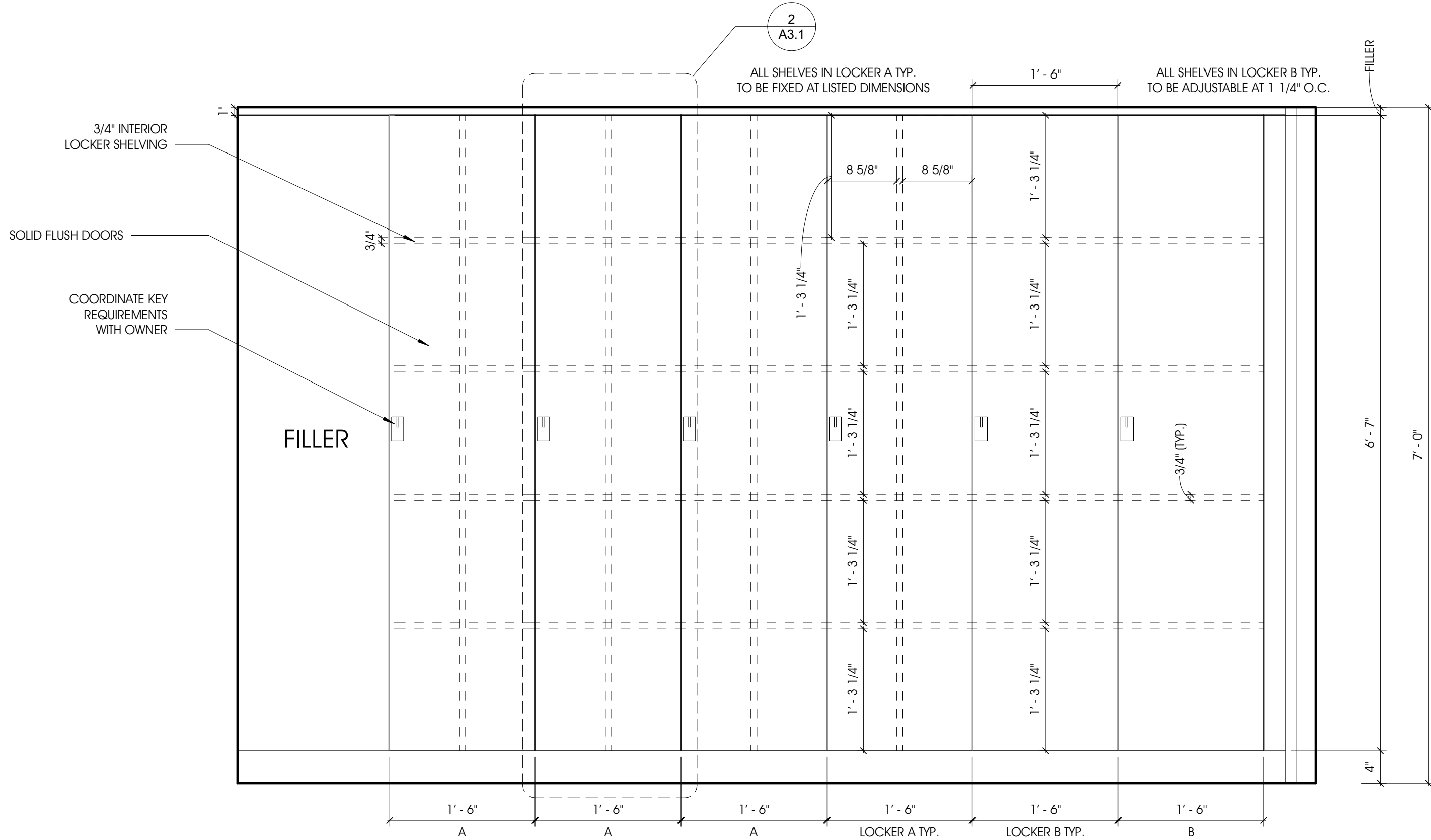
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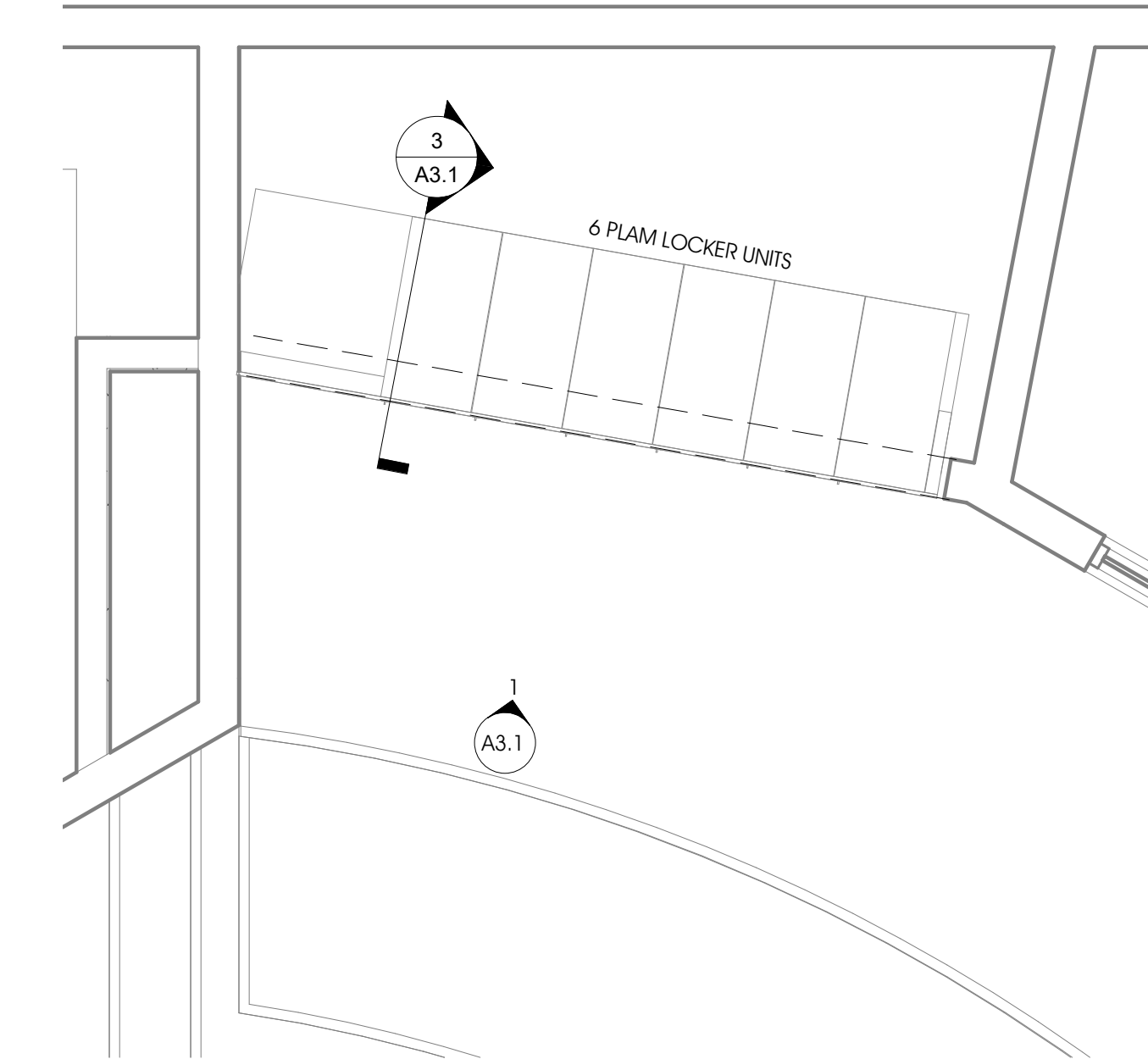
3 CASEWORK SECTION - LOCKERS (TYP)  
SCALE: 1" = 1'-0"



2 CASEWORK ELEVATION - LOCKERS (TYP)  
SCALE: 1" = 1'-0"



1 INTERIOR ELEVATION - LOCKERS (TYP)  
SCALE: 1" = 1'-0"



4 FIRST FLOOR CONSTRUCTION PLAN - Callout 1  
SCALE: 3/8" = 1'-0"

## GENERAL NOTES - INTERIOR ELEVATIONS

- A. ALL EXIST. INTERIOR SHELVING & DIVIDERS TO BE REMOVED
- B. NEW LOCKER SHELVING SHALL BE INSTALLED ACCORDING TO 2/A1.1
- C. PROVIDE ACOUSTIC SEALANT BETWEEN CEILING AND WALL (TYPICAL).
- D. ALL LOCKER DIMENSIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- E. INTERIOR DIVIDERS OF LOCKERS SHALL BE 3/4" THICK PARTICLE BOARD FINISHED WITH W/ WHITE MELAMINE.
- F. EXTERIOR PANELS & DOORS OF LOCKERS SHALL REMAIN, PROTECT DURING CONSTRUCTION.
- G. LOCKER LAYOUT IN ELEVATION 2/A1.1 SHALL BE MIRRORIED @ OPPOSITE SIDE OF BAND ROOM LOCKER LOCATION.

## KEYNOTES - CONST. A3.1

KEYNOTE	DESCRIPTION
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CMM, OGG, JCH

DESIGNED BY:  
ARD

PM REVIEW:  
MDN

QA/QC REVIEW:  
MDN

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SHEET NO.

A3.1

## INTERIOR ELEVATIONS

PROJECT: SCHOOL CITY OF  
MISHAWAKA  
MHS BAND AND CHOIR  
RENOVATION  
1202 LINCOLNWAY EAST  
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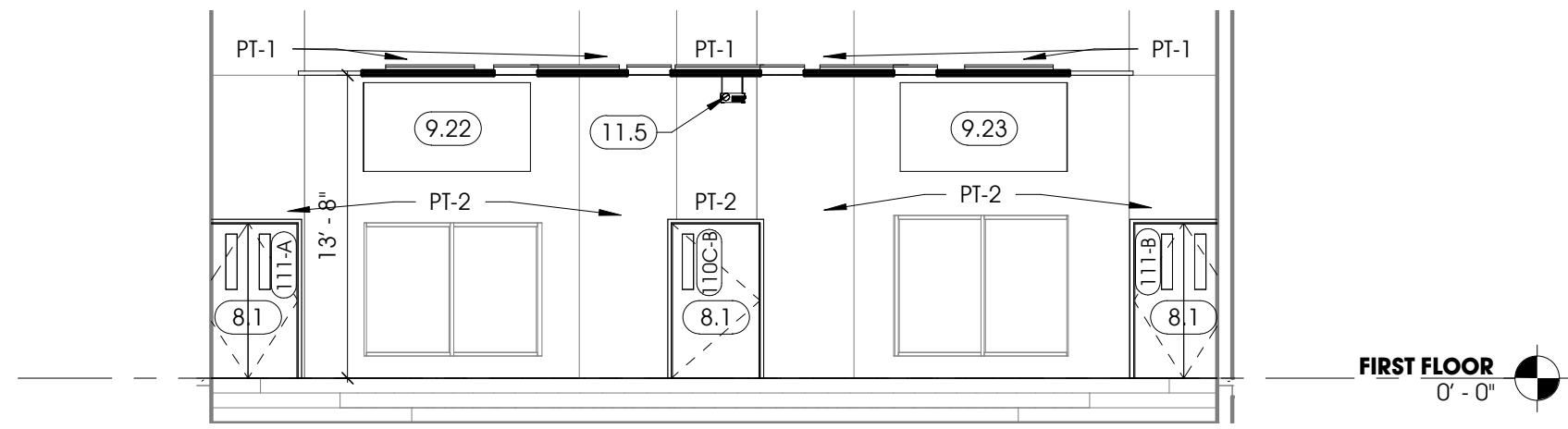
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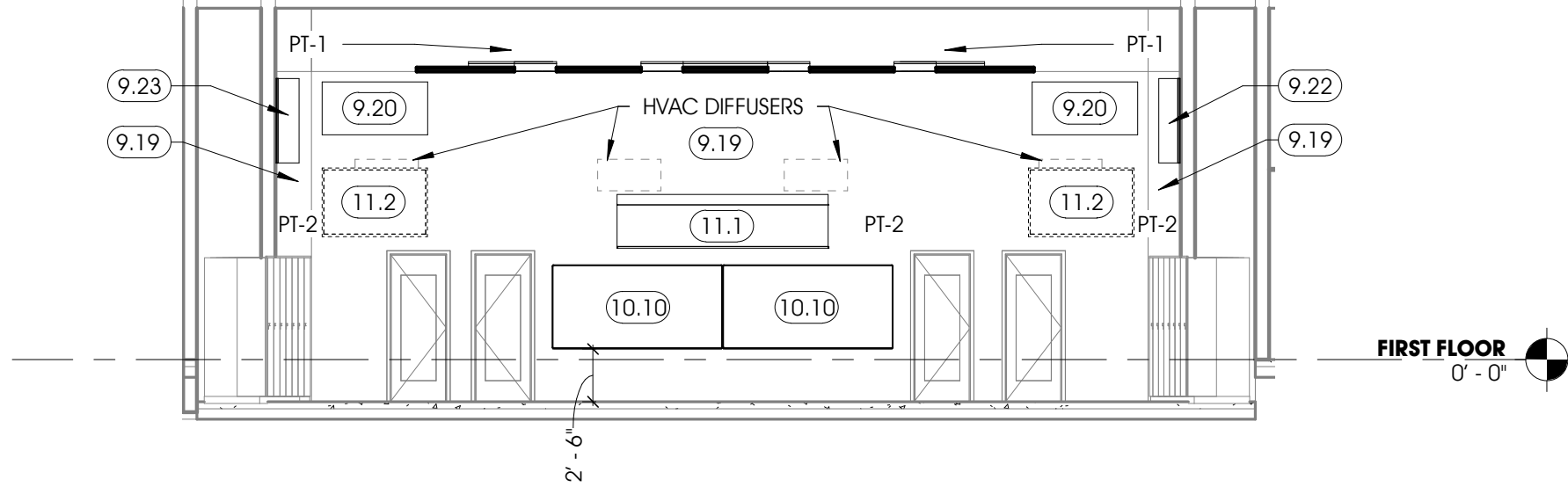
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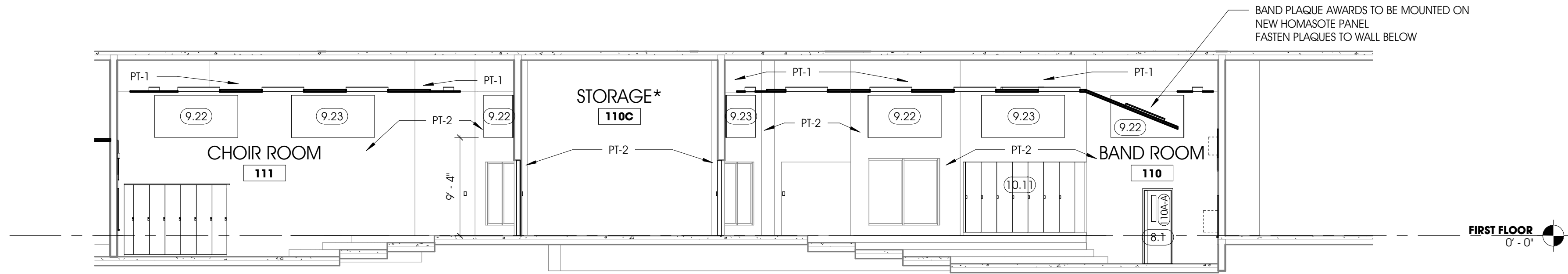
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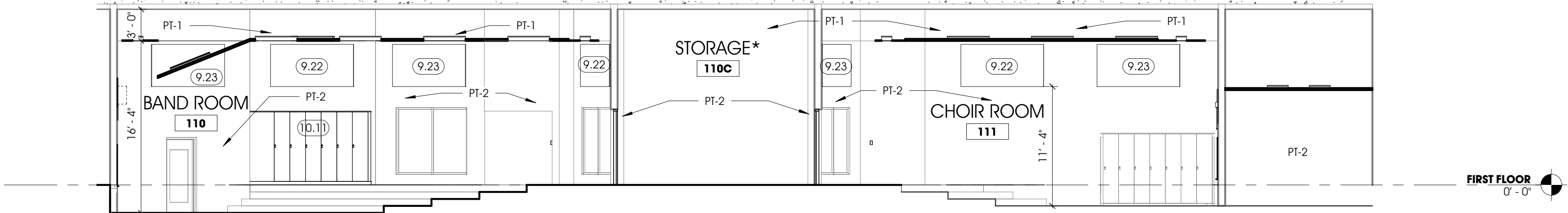
5 CHOIR ROOM - WEST  
A0.1 SCALE: 1/8" = 1'-0"



4 CHOIR ROOM - EAST  
A1.1 SCALE: 1/8" = 1'-0"

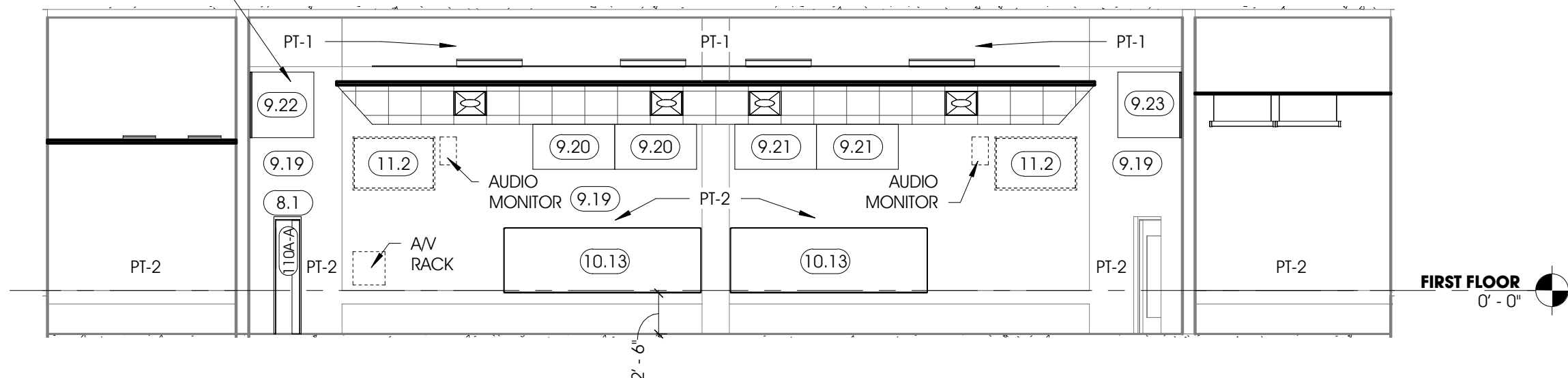


6 SECTION 1 @ BAND & CHOIR ROOMS  
A1.1 SCALE: 1/8" = 1'-0"

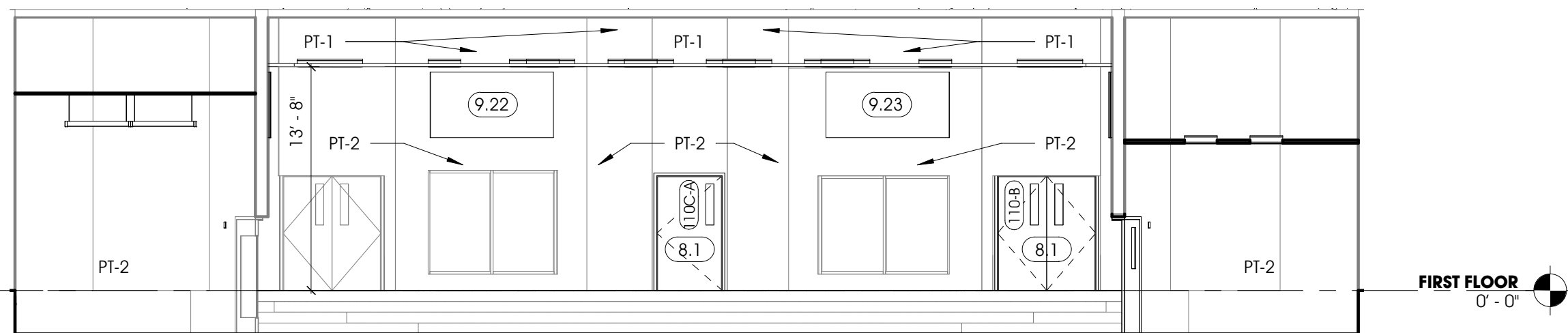


2 SECTION 2 @ BAND & CHOIR ROOMS  
A1.1 SCALE: 1/8" = 1'-0"

BAND PLAQUE AWARDS TO BE MOUNTED ON  
NEW HOMASOTE PANEL  
FASTEN PLAQUES TO WALL BELOW



3 BAND REHEARSAL ROOM - WEST  
A1.1 SCALE: 1/8" = 1'-0"



1 BAND REHEARSAL ROOM - EAST  
A1.1 SCALE: 1/8" = 1'-0"

## GENERAL NOTES - INTERIOR ELEVATIONS

- ALL EXIST. INTERIOR SHELVING & DIVIDERS TO BE REMOVED
- NEW LOCKER SHELVING SHALL BE INSTALLED ACCORDING TO 2/A1.1
- PROVIDE ACOUSTIC SEALANT BETWEEN CEILING AND WALL (TYPICAL).
- ALL LOCKER DIMENSIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- INTERIOR DIVIDERS OF LOCKERS SHALL BE 3/4" THICK PARTICLE BOARD FINISHED WITH W/ WHITE MELAMINE.
- EXTERIOR PANELS & DOORS OF LOCKERS SHALL REMAIN. PROTECT DURING CONSTRUCTION.
- LOCKER LAYOUT IN ELEVATION 2/A1.1 SHALL BE MIRRORIED @ OPPOSITE SIDE OF BAND ROOM LOCKER LOCATION.

## KEYNOTES - CONST. A3.2

KEYNOTE	DESCRIPTION
8.1	NEW WOOD FLUSH PANEL WOOD DOORS REFERENCE SHEET A9.1 FOR DOOR INFO. PAINT FRAME PT-3
9.19	REFINISH WALL AFTER CARPET DEMO. SKIM ALL REVEALED EXISTING BLOCK FROM FLOOR TO CEILING AND FINISH TO LEVEL 4, PAINT GYPSUM WITH PT-2
9.20	30"x60" RECTANGULAR HOMASOTE ACOUSTICAL WALL PANELS WRAPPED IN GUILFORD OF MAINE ACOUSTIC FABRIC FR701 - 2100-238
9.21	30"x60" RECTANGULAR HOMASOTE ACOUSTICAL WALL PANELS WRAPPED IN GUILFORD OF MAINE ACOUSTIC FABRIC FR701 - 2100-418
9.22	48"x96" RECTANGULAR HOMASOTE ACOUSTICAL WALL PANELS WRAPPED IN GUILFORD OF MAINE ACOUSTIC FABRIC FR701 - 2100-418
9.23	48"x96" RECTANGULAR HOMASOTE ACOUSTICAL WALL PANELS WRAPPED IN GUILFORD OF MAINE ACOUSTIC FABRIC FR701 - 2100-238
10.10	PROVIDE 48"x96" PREMIUM FRAMELESS PAINTED EDGE PORCELAIN MAGNETIC WHITEBOARD, Z BAR MOUNT, WITH FULL BLADE MARKER TRAY FROM BRITE INC./ US MARKERBOARD PHONE: 800-791-2946 REF. ESTIMATE# E350626 ACCOUNT# 1377222
10.11	NEW SHELVING SYSTEM FOR PLAM LOCKERS REFER TO SHEET A3.1
10.13	PROVIDE 48"x144" PREMIUM FRAMELESS PAINTED EDGE PORCELAIN MAGNETIC WHITEBOARD, Z BAR MOUNT, WITH FULL BLADE MARKER TRAY FROM BRITE INC./ US MARKERBOARD PHONE: 800-791-2946 REF. ESTIMATE# E350626 ACCOUNT# 1377222
11.1	MOUNT RETRACTABLE PROJECTION SCREEN TO WALL AT ? AFF USING SALVAGED PROJECTOR BRACKET
11.2	REMOVE AND REINSTALL ALL TELEVISIONS FOR CONSTRUCTION. PROVIDE WIRE MOLDS FOR CABLE MANAGEMENT.

PROJECT: SCHOOL CITY OF  
MISHAWAKA  
MHS BAND AND CHOIR  
RENOVATION  
1202 LINCOLNWAY EAST  
MISHAWAKA, IN 46544

## INTERIOR ELEVATIONS

SHEET TITLE:

MODELED BY: CMM, JCH  
DESIGNED BY: ARD  
PM REVIEW: MDN  
QA/QC REVIEW: MDN  
DATE: 2/22/2023

SEAL: ARVIN R.C. DELACROIX  
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A3.2

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\* = ALTERNATE #1

ROOM SCHEDULE

RM. NO.	ROOM NAME	FLOORING		BASE	NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		CEILING	BULKHEAD	REMARKS
		MATERIAL	FINISH		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	FINISH	FINISH	
110	BAND ROOM	CONC.	LVT-1	RB-1	CONC.	PT-1, PT-2	CONC.	PT-1, PT-2	CONC.	PT-1, PT-2	CONC.	PT-1, PT-2	ACT-2/PT-4	PT-2	
110A	OFFICE	CONC.	CPT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	
110B	OFFICE	CONC.	CPT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	-	-	
110C	STORAGE*	CONC.	LVT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	-	-	*ALTERNATE 01
111	CHOIR ROOM	CONC.	LVT-1	RB-1	CONC.	PT-1, PT-2	CONC.	PT-1, PT-2	CONC.	PT-1, PT-2	CONC.	PT-1, PT-2	ACT-2/PT-4	PT-2	
111A	STORAGE	CONC.	LVT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	-	-	
111B	OFFICE	CONC.	CPT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	
111C	OFFICE	CONC.	CPT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	
111D	INSTRUMENT STORAGE	CONC.	LVT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	-	-	
112	HALL	CONC.	EXIST.	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-2/PT-4	-	
112A	PRACTICE*	CONC.	LVT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	*ALTERNATE 01
112B	PRACTICE*	CONC.	CPT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	*ALTERNATE 01
112C	PRACTICE*	CONC.	CPT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	*ALTERNATE 01
112E	MUSIC LIBRARY*	CONC.	LVT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	*ALTERNATE 01
113	HALL	CONC.	EXIST.	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-2/PT-4	-	
113A	PRACTICE*	CONC.	CPT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	*ALTERNATE 01
113B	PRACTICE*	CONC.	CPT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	*ALTERNATE 01
113C	PRACTICE*	CONC.	LVT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	*ALTERNATE 01
113D	REPAIR*	CONC.	LVT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	-	-	*ALTERNATE 01

DOOR SCHEDULE

No.	ROOM	DOOR		TYPE	CORE	PANEL		GLAZING	TYPE	FRAME		HARDWARE SET	REMARKS
		HANDING	W x H			MATERIAL	FINISH			MATERIAL	FINISH		
110-B	110 BAND REHEARSAL	RHR-DBL	6' - 0" x 7' - 0"	NL-1	SOLID	WOOD	STAIN	NL	EXIST.	HM	REFER TO GEN. NOTE H	GROUP 01	1" INSUL. GLAZING
110A-A	110A OFFICE	RH	3' - 0" x 7' - 0"	NL-4	SOLID	WOOD	STAIN	NL	EXIST.	HM	REFER TO GEN. NOTE H	GROUP 01	1" INSUL. GLAZING
110C-A	110C STORAGE	RH	4' - 0" x 7' - 0"	NL-3	SOLID	WOOD	STAIN	NL	EXIST.	HM	REFER TO GEN. NOTE H	GROUP 01	1" INSUL. GLAZING
110C-B	110C STORAGE	LH	4' - 0" x 7' - 0"	NL-3	SOLID	WOOD	STAIN	NL	EXIST.	HM	REFER TO GEN. NOTE H	GROUP 01	1" INSUL. GLAZING
111-A	111 CHORAL/ORCHESTRA REHEARSAL	RHR-DBL	4' - 6" x 7' - 0"	NL-2	SOLID	WOOD	STAIN	NL	EXIST.	HM	REFER TO GEN. NOTE H	GROUP 01	1" INSUL. GLAZING
111-B	111 CHORAL/ORCHESTRA REHEARSAL	RHR-DBL	4' - 6" x 7' - 0"	NL-2	SOLID	WOOD	STAIN	NL	EXIST.	HM	REFER TO GEN. NOTE H	GROUP 01	1" INSUL. GLAZING

DOOR & FRAME NOTES

A. EXIST DOORS & FRAMES SCHEDULED TO REMAIN SHALL BE CLEANED AS REQUIRED FOR TYPE.

B. EXISTING STEEL DOORS (INCLUDING DOORS NOT LISTED IN DOOR SCHEDULE) SHALL BE PRIMED & PAINTED - PREP PER PAINT MFR. SPECS.

C. PROVIDE FIRE DEPT KNOX BOX AS REQUIRED BY LOCAL AUTHORITY. VERIFY DESIRED LOCATION WITH ARCHITECT.

D. PROVIDE MECHANICAL & ADA RESTROOM SIGNAGE. MATCH OWNER STANDARD.

E. REFER TO SHEET T1.2 FOR DOOR JAMB & HEAD DETAILS.

F. NEW DOORS TO MATCH EXISTING STYLE AND COLOR (CONTRACTOR TO VERIFY)

G. CONTRACTOR SHALL FIELD VERIFY EXIST. DOOR PANEL AND FRAME DIMENSIONS AS REQ.

DOOR HARDWARE GROUPS

1. PROVIDE SILENCERS AT ALL DOORS (TYP)
2. ALL NEW WOOD DOORS SHALL MATCH EXIST. WOOD SPECIES & PAINT
3. PROVIDE NEW HARDWARE AT ALL EXIST. DOORS SCHEDULED TO REMAIN IF SPECIFIED HARDWARE DOES NOT EXIST. FINISH SHALL MATCH EXIST.
4. CONTRACTOR SHALL REPAIR/ CONCEAL HOLES AT ALL EXISTING DOORS WHERE EXISTING HARDWARE IS REMOVED.
5. ALL EXISTING INTERIOR DOOR FRAMES SCHEDULED TO REMAIN SHALL BE PROPERLY PREPPED, PRIMED, & PAINTED.
6. PROVIDE THE FOLLOWING HARDWARE FOR EACH GROUP
- A. NEW HARDWARE GRADE AND FINISH SHALL MATCH EXISTING.
- B. IF UNKNOWN, PROVIDE GRADE 1 - HEAVY DUTY COMMERCIAL USAGE
7. ALL HARDWARE SHALL BE HEAVY DUTY & MATCH OWNER STANDARDS

GROUP 5 - STOREFRONT (DOUBLE DOOR)

- (2) EXT. PULL w/ INT. PANIC BAR EXIT DEVICE KEYED CYLINDER & RIM w/ INTERIOR THUMB TURN
- (6) PAIRS HD SECURITY HINGES THERMALLY BROKEN ADA THRESHOLD
- (1) DOOR SWEEP & WEATHER SEAL
- (2) DOOR CLOSER

GROUP 6a - DELAYED EGRESS STOREFRONT (SINGLE DOOR)

- (1) EXT. PULL w/ INT. PANIC BAR EXIT DEVICE KEYED CYLINDER & RIM w/ INTERIOR THUMB TURN
- (3) PAIRS HD SECURITY HINGES THERMALLY BROKEN ADA THRESHOLD
- (1) DOOR SWEEP & WEATHER SEAL
- (1) DOOR CLOSER
- (1) PROXIMITY READER (NC-MPA1002UM)
- (1) MAGNETIC LOCK (SN-M32)
- (1) MAGNETIC LOCK SPACER (SN-ASB32CL)
- (1) EMERGENCY RELEASE PULL STATION (FMM-100SAT2CK-B)
- (1) DOOR RELEASE BUTTONS (AC-TS2)

GROUP 6b - DELAYED EGRESS STOREFRONT (DOUBLE DOOR)

- (2) EXT. PULL w/ INT. PANIC BAR EXIT DEVICE KEYED CYLINDER & RIM w/ INTERIOR THUMB TURN
- (6) PAIRS HD SECURITY HINGES THERMALLY BROKEN ADA THRESHOLD
- (1) DOOR SWEEP & WEATHER SEAL
- (2) DOOR CLOSER

GROUP 7 - GATE

- (1) EXT. PULL w/ INT. PANIC BAR EXIT DEVICE w/ AUDIBLE ALARM IF OPENED
- (3) PAIRS HD HINGES
- (1) CLOSER
- (1) PIN & SLEEVE

GROUP 1 - OFFICE/CONFERENCE

- LEVER HANDLE KEYED LOCKSET
- (3) HD HINGES
- SOUND SEALS AT PERIMETER DOOR BOTTOM

GROUP 2 - PRIVACY DOORS

- LEVER HANDLE PUSH BUTTON LOCKSET
- (3) HD HINGES
- THUMB TURN LOCK/UNLOCK INDICATOR

GROUP 3 - PASSAGE

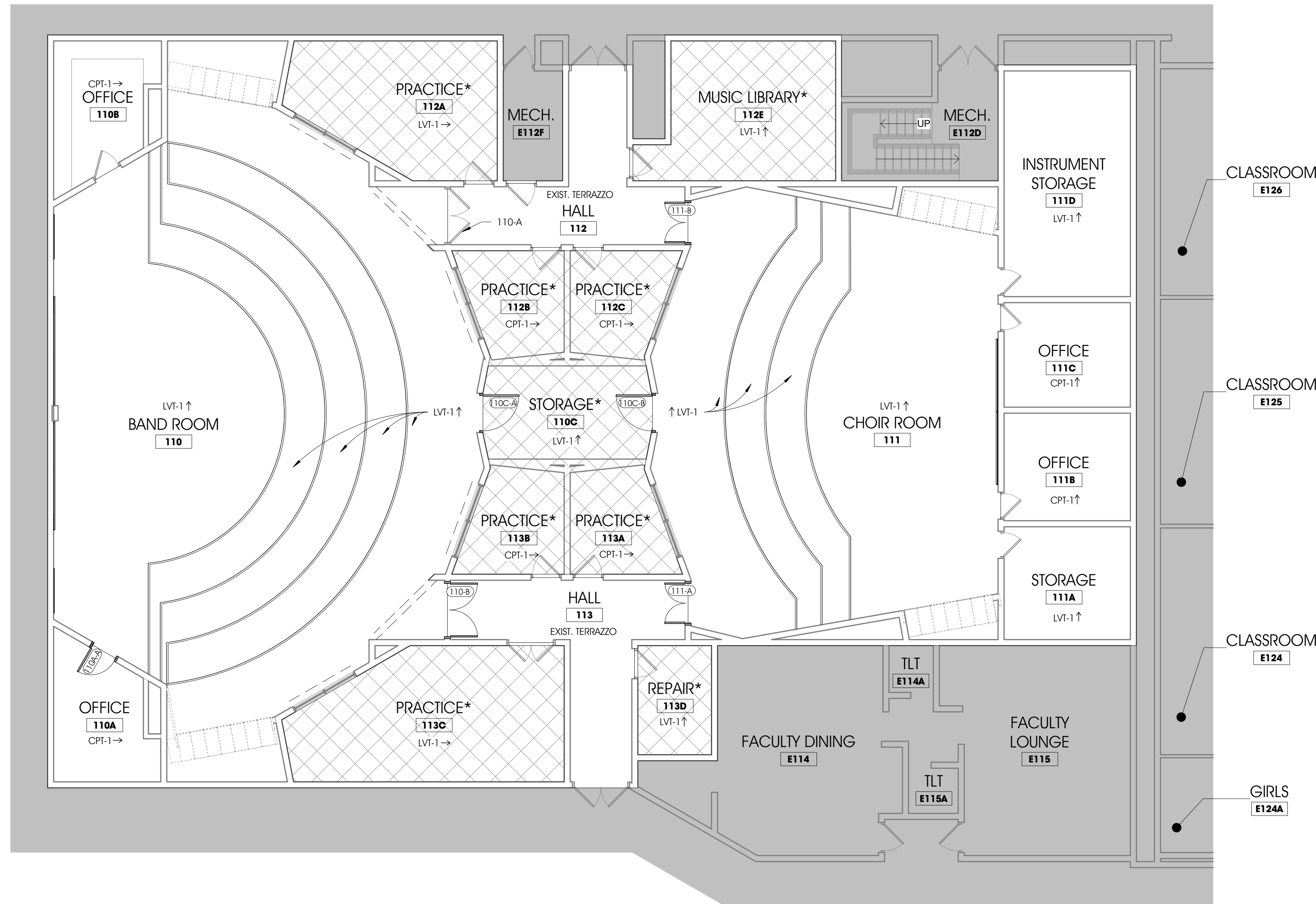
- LEVER HANDLE
- (3) HD HINGES (4 AT 42" DOOR)
- DOOR CLOSER w/ HOLD OPEN

GROUP 4a - EXTERIOR

- (1) INT. PULL KEYED CYLINDER & RIM w/ INTERIOR THUMB TURN
- (3) PAIRS HD SECURITY HINGES THERMALLY BROKEN ADA THRESHOLD
- (1) DOOR SWEEP & WEATHER SEAL
- (1) DOOR CLOSER

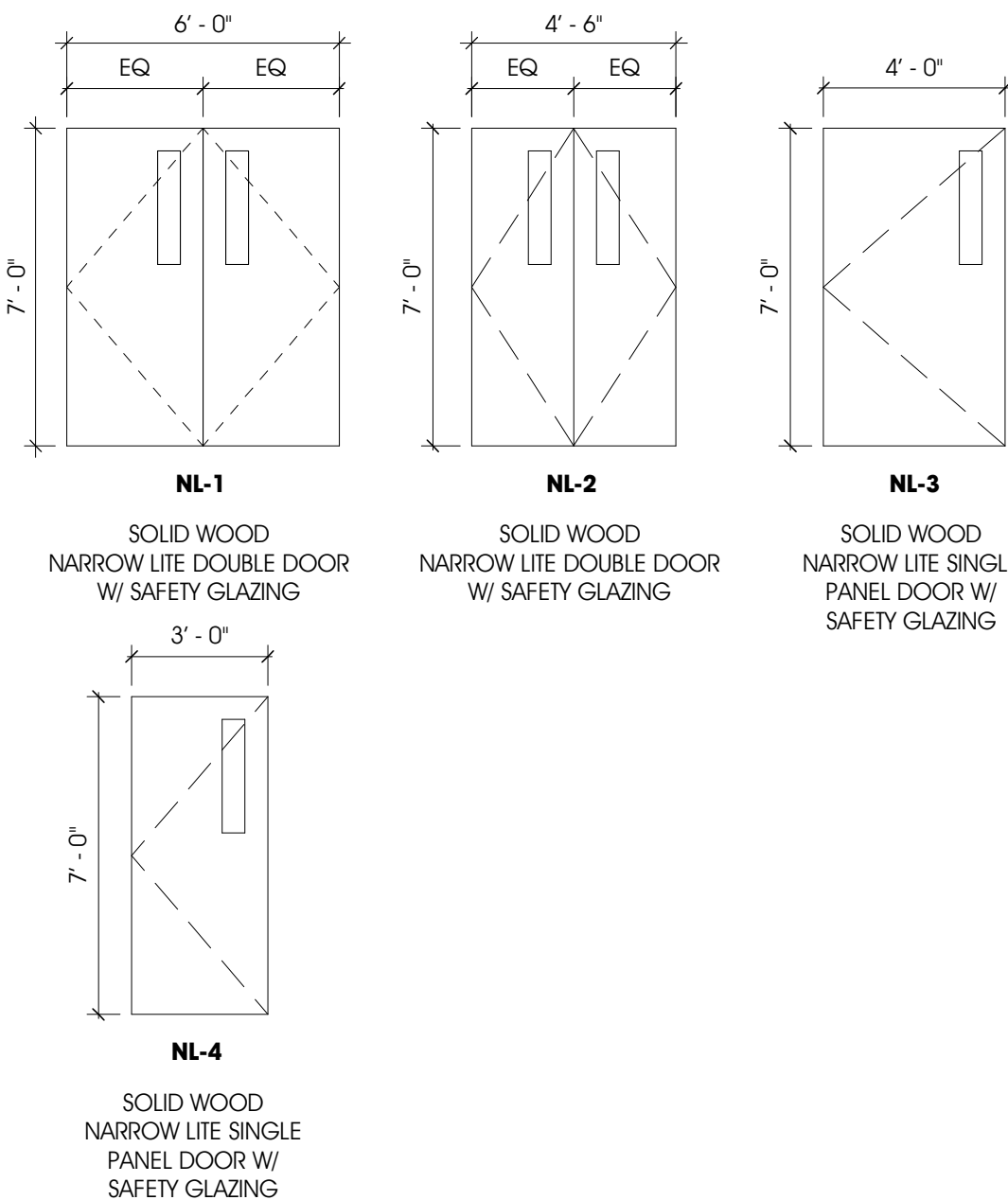
GROUP 4b - EXTERIOR DELAYED EGRESS

- (1) INT. PANIC BAR EXIT DEVICE KEYED CYLINDER & RIM w/ INTERIOR THUMB TURN
- (3) PAIRS HD SECURITY HINGES THERMALLY BROKEN ADA THRESHOLD
- (1) DOOR SWEEP & WEATHER SEAL
- (1) DOOR CLOSER
- (1) PROXIMITY READER (NCMPA1002UM)
- (1) MAGNETIC LOCK (SN-M32)
- (1) MAGNETIC LOCK SPACER (SN-ASB32CL)
- (1) EMERGENCY RELEASE PULL STATION (FMM-100SAT2CK-B)
- (1) DOOR RELEASE BUTTONS (AC-TS2)

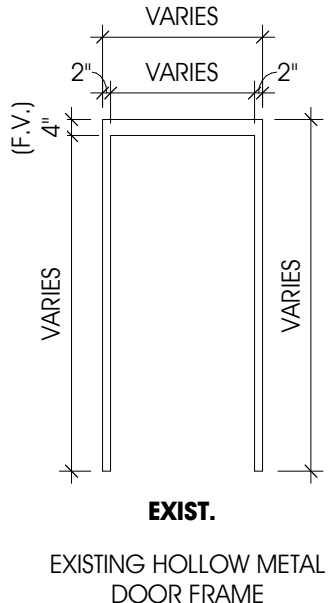


1 FINISH PLAN - FIRST FLOOR  
A9.1 SCALE: 1/8" = 1'-0"

DOOR ELEVATIONS



DOOR FRAMES



GENERAL NOTES - FINISHES

- PREP & PRIME ALL SURFACES TO RECEIVE FINISHES PER MFR. REQUIREMENTS.
- PROVIDE COMPATIBLE PRIMER PER PAINT MFR. WRITTEN REQUIREMENTS.
- PRIME REVEALED CONC. WALLS FROM UNDER CARPETING WITH ONE COAT OF S-W PROMAR 200 LATEX PRIMER, SEMI-GLOSS (820-600 SERIES).
- PRIME METAL DOORS, DOOR JAMBS, AND ACOUSTICAL CEILING GRID WITH ONE COAT OF PRO INDUSTRIAL DTM ACRYLIC PRIMER/FINISH, SATIN (866-W-11 SERIES).
- PROVIDE TEMPERED GLAZING IN ALL DOORS AS REQUIRED BY CODE.
- COORDINATE KEYING REQUIREMENTS WITH OWNER.
- ALL FLOORING TRANSITIONS TO BE MADE IN MIDDLE OF DOOR PANELS.
- CONTRACTOR SHALL AVOID USING TRANSITIONS AS POSSIBLE, SELF LEVEL AS NEEDED TO MATCH FLOORING HEIGHTS
- CONTRACTOR SHALL VERIFY ALL DOOR SIZES PRIOR TO ORDERING
- CONTRACTOR SHALL FIELD VERIFY AND MATCH EXIST. MASONITE MODEL, STYLE, FINISH, SPECIES, GRAIN PATTERN, STAIN, & THICKNESS OF DOOR 110-A.
- PAINT ALL DOOR FRAMES & JAMBS IN PT-3. REFERENCE MATERIAL FINISH LEGEND.
- INSTALL NEW 6" BASE AND NOSINGS AT ALL RISERS. REFERENCE MATERIAL FINISH LEGEND.
- ALL LVT SHALL BE INSTALLED IN ASHLAR PATTERN. REFERENCE MATERIAL FINISH LEGEND.
- ALL CARPET TILES SHALL BE INSTALLED IN MONOLITHIC PATTERN. REFERENCE MATERIAL FINISH LEGEND.
- WHERE EXIST. BUILT IN CABINETS IS TO REMAIN, LAY FLOORING FLUSH TO TOE KICK
- AS DIRECTED BY ROOM FINISH SCHEDULE PAINT EXISTING CEILING GRID IN PLACE AND REPLACE EXIST. CEILING TILES WITH NEW.

MATERIAL FINISH LEGEND

TYPE	MARK	DESCRIPTION	MANUFACTURER	STYLE	PATTERN/COLOR	REMARKS
BASE & TRIM	RB-1	RESILIENT BASE	JOHNSONITE	STANDARD 4" COVE	40 BLACK B	HORIZONTAL BASE TO REPLACE ALL EXISTING
	RB-2	RESILIENT BASE	JOHNSONITE	6" NO TOE	40 BLACK B	METER FOR VERTICAL APPLICATIONS ADJUSTED TO STEPS. RP HEIGHT AS NEEDED
	SN-1	STAIR NOSING	JOHNSONITE/ TARKETT	VDL-X09Q	40 BLACK B	1/8" MATERIAL AT ALL RISINGS
	TS-1	TRANSITION STRIP	JOHNSONITE	SBR-X08 B 1 5/8" BRIDGE BAR	40 BLACK B	EXISTING VCT/ TERRAZZO TO CARPET AS REQUIRED. SELF LEVEL TO AVOID TRANSITION STRIP IF POSSIBLE.
WALLS & DOORS	PT-1	PAINT	SHERWIN WILLIAMS	PROMAR 200 ACRYLIC LATEX	SW6258 - TRICORN BLACK	CLG/STRUCTURE ABOVE CLOUD, AND GYP WALLS AT UPPER 3FT ONLY. SHOWN AS BASE BOT ON DRAWINGS
	PT-2	PAINT	SHERWIN WILLIAMS	PROMAR 200 ACRYLIC LATEX	SHERWIN WILLIAMS - SCHOOL CITY WHITE IN SEMI-GLOSS	WALL COLOR UP TO REFIN. CUSTOM COLOR SHALL MATCH OWNER'S STANDARD.
	PT-3	PAINT	SHERWIN WILLIAMS	PRO INDUSTRIAL DIM ACRYLIC	SHERWIN WILLIAMS - MISHAWAKA MAROON IN SEMI-GLOSS	STEEL DOORS AND ALL JAMBS, AND FRAMES COLOR. CUSTOM COLOR SHALL MATCH OWNER'S STANDARD.
	PT-4	PAINT	SHERWIN WILLIAMS	PRO INDUSTRIAL DIM ACRYLIC	SHERWIN WILLIAMS - EXTRA WHITE SW 700A SEMI-GLOSS	ALL ACOUSTICAL CEILING GRIDS
FLOORING	CPT-1	CARPET	MOHAWK	LEARN & LIVE SERIES - G1418 - SWIRL BRIGHT TILE	BROOKWOOD - 969	BASE CARPET TILE - MONOLITHIC PATTERN
	LVT-1	VINYL TILE	MILKLEN	LUMINOLOGY	LIGHT SWITCH - DIM LLS13	5MM/9 84" X 39.37" LUXURY VINYL TILE - BRCK ASHLAR PATTERN
CEILING	ACT-1	ACOUSTIC CEILING TILE	USG	RADAR BASIC 2120 2'X2' SHADOWLINE TAPERED TONERD MINERAL BASE	WHITE	INSTALL IN AREAS WHERE EXIST GRID IS 2'X2'. REFERENCE SHEET 1/A2.1.
	ACT-2	ACOUSTIC CEILING TILE	USG	RADAR ILLUSION 2840 TWO 24 PANELS SHADOWLINE TAPERED TONERD MINERAL BASE	WHITE	INSTALL IN AREAS WHERE EXIST GRID IS 2'X4'. REFERENCE SHEET 1/A2.1.

- NOTES:
- CONTRACTOR SHALL SUBMIT ALL FINISH SAMPLES TO OWNER AND ARCHITECT FOR FINAL APPROVAL
  - CONTRACTOR SHALL PROVIDE FULL SCALE MOCK UP SHOWING ALL FINISHES IN PLACE FOR FINAL APPROVAL

GENERAL NOTES - DOORS

- CONTRACTOR SHALL REINSTALL EXISTING HARDWARE FROM EXISTING DOORS (TYP). IF HARDWARE IS DAMAGED, CONTRACTOR SHALL PROVIDE NEW HARDWARE TO MATCH EXISTING.
- NEW DOORS SHALL BE SOUND PROOF DOORS
- PROVIDE SOUND SEAL GASKETING, AND AUTOMATIC DOOR BOTTOMS AT ALL NEW DOORS
- CONTRACTOR SHALL FIELD VERIFY THAT ALL EXISTING DOOR FRAMES TO REMAIN ARE GROUTED SOLID



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SCHOOL CITY OF  
MISHAWAKA  
MHS BAND AND CHOIR  
RENOVATION  
1202 LINCOLNWAY EAST  
MISHAWAKA, IN 46544

FINISH PLAN & DOOR  
SCHEDULE

SHEET TITLE:

MODELED BY:  
CMM, OGG, JCH

DESIGNED BY:  
ARD

PM REVIEW:  
MDN

QA/QC REVIEW:  
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DATE:  
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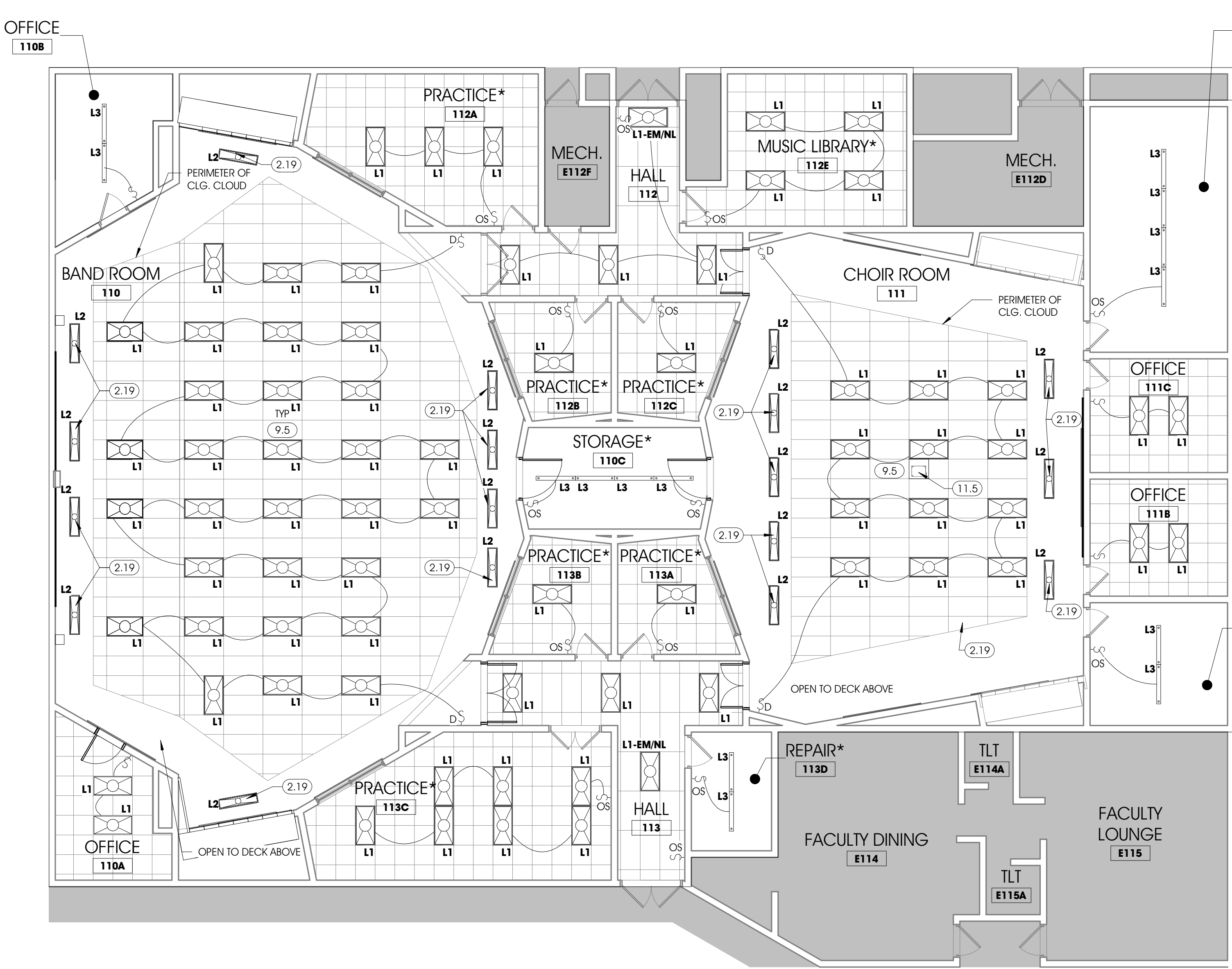
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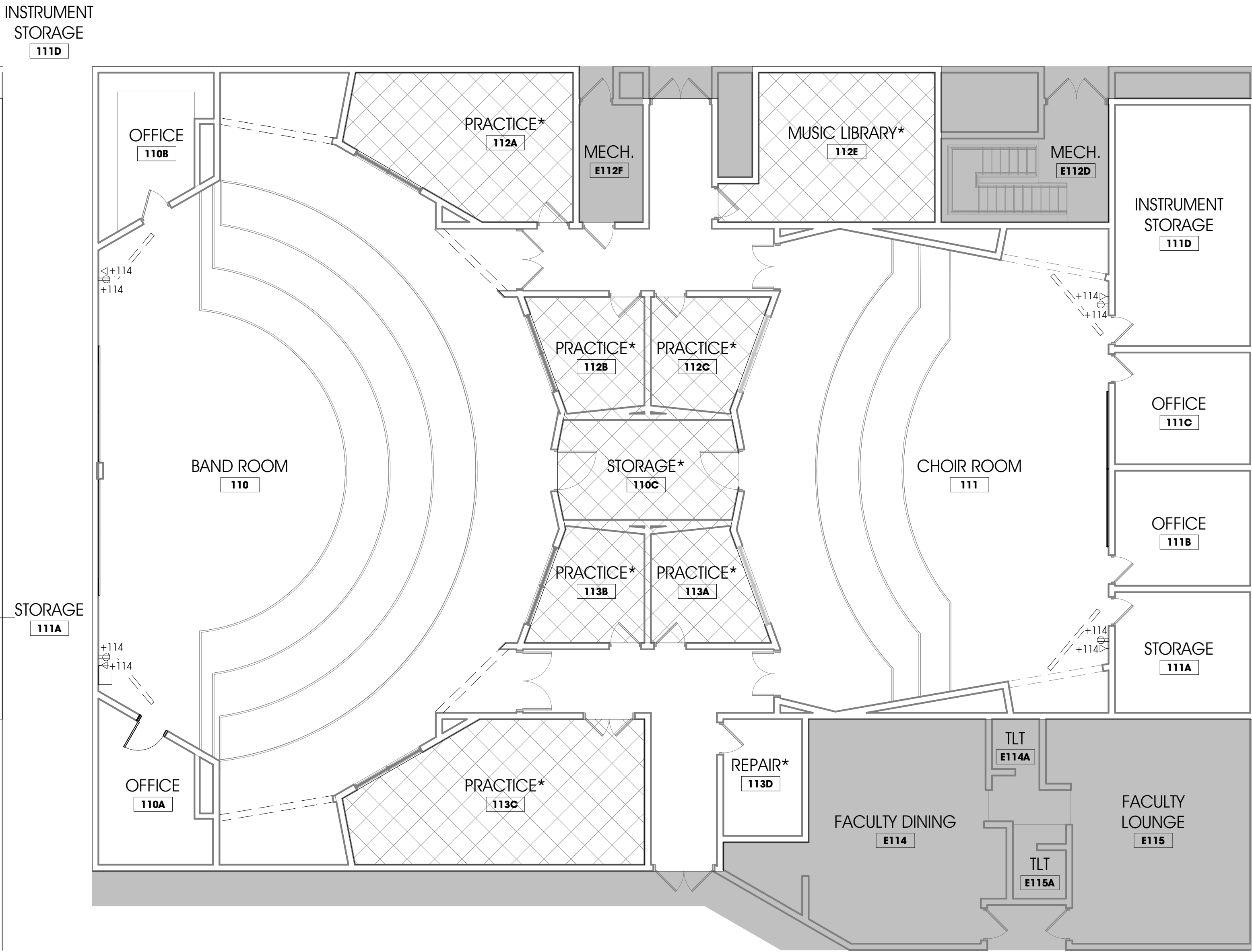
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O:\Projects\2022\22-1722 SCOM HS Band and Choir Renovation\1 Drawing Files\_Arch\ Revit



2 FIRST FLOOR REFLECTED CEILING PLAN - LIGHTING PLAN  
E1.1 SCALE: 1/8" = 1'-0"



1 FIRST FLOOR - ELECTRICAL POWER PLAN  
E1.1 SCALE: 1/8" = 1'-0"



### GENERAL NOTES - REFLECTED CEILING PLAN/ ELECTRICAL POWER & LIGHTING PLAN

- A. DO NOT SCALE DRAWINGS - USE WRITTEN DIMENSIONS PROVIDED ONLY.
- B. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- C. CONTRACTOR TO VERIFY ALL ELECTRICAL BREAKERS IN DESIGNATED SCOPE ARE DEACTIVATED PRIOR TO CONSTRUCTION.
- D. NEW LIGHT FIXTURES TO BE INSTALLED IN SAME LOCATION AS EXIST. FIXTURES.
- E. DATA AND POWER CABLES TO BE CABLE MOLDED SEPARATELY.
- F. SWITCH FROM SINGLE POLE SWITCHES TO 3-WAY OF MATCHING STYLE AND COLOR AS NEEDED
- G. ALL NEW DIMMER SWITCHES TO BE CURRENT LIGHTING RSD710-UNV-WVL 120 V IN COLOR: WHITE
- H. ALL REGULAR SWITCHES TO BE REPLACED TO LEVITON 5601-2AW IN COLOR: WHITE
- I. ALL OCCUPANCY SENSOR SWITCHES SHALL BE LEVITON ODS06
- J. ALL L3 FIXTURES TO BE SUSPENDED FROM CEILING USING #12 SINGLE LOOP, ZINC PLATED STEEL JACK CHAIN.

### FIXTURE SCHEDULE

ALL NEW 2x2 FIXTURES MOUNTED TO S.A.T. SHOWN TO BE L1

L1	LITHONIA 24" LED PANEL CPX - 2X4 - 4000LM 35K M2
L1-EM	LITHONIA 24" LED PANEL CPX - 2X4 - 4000LM 35K M2 EMERGENCY LIGHT FIXTURE
L1-EM/NL	LITHONIA 24" LED PANEL CPX - 2X4 - 4000LM 35K M2 EMERGENCY LIGHT/ NIGHT LIGHT
L2	COLUMBIA LIGHTING 12"X48" LED TROFFER - CB114-LS35 W/ SURFACE MOUNT KIT SRPSMK14
L3	COLUMBIA LIGHTING MPS4-35MW-FW-E W/ CSHC CHAIN HANGER ASSEMBLY
CAT-6 DATA LINE	
DUPLEX RECEPTACLE	
DW DUPLEX RECEPTACLE	DW
SINGLE POLE SWITCH	S
SINGLE POLE SWITCH W/ DIMMER	S-D
OCCUPANCY SENSOR SWITCH	S-OS

PROJECT: SCHOOL CITY OF  
MISHAWAKA  
MHS BAND AND CHOIR  
RENOVATION  
1202 LINCOLNWAY EAST  
MISHAWAKA, IN 46544

SHEET TITLE:  
FIRST FLOOR - ELECTRICAL  
POWER PLAN

MODELED BY: CMM, JCH  
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