

DOCUMENT 00 91 13

ADDENDA

ADDENDUM NUMBER 02

DATE: 3/8/2023

PROJECT: MHS Band and Choir Renovation

PROJECT NUMBER: 22-1722

OWNER: School City of Mishawaka

ARCHITECT: Abonmarche
315 W. Jefferson Blvd.
South Bend, IN 46601

TO: Prospective Bidders

This Addendum forms a part of the Contract Documents and modifies the Bidding Documents dated February 22, 2023, and Addendum Number 1 issued February 24, 2023, with amendments and additions noted below.

Acknowledge receipt of this Addendum in the space provided in the Bid Form. Failure to do so may disqualify the Bidder.

This Addendum consists of (3) 8.5" x 11" pages and (7) 24" x 36" consisting of the following Drawings.

No.	Drawing Title	Issue Date
D1.1	FIRST FLOOR - DEMOLITION PLAN	03-08-2023
A1.1	FIRST FLOOR – CONSTRUCTION PLAN	03-08-2023
A2.1	FIRST FLOOR – REFLECTED CEILING CONSTRUCTION PLAN	03-08-2023
A3.1	INTERIOR ELEVATIONS	03-08-2023
A3.2	INTERIOR ELEVATIONS	03-08-2023
A9.1	FINISH PLAN & DOOR SCHEDULE	03-08-2023
E1.1	FIRST FLOOR – ELECTRICAL POWER PLAN	03-08-2023

CHANGES TO THE PROJECT MANUAL

SECTION 081416 – FLUSH WOOD DOORS

- 1) **ADD** Masonite as approved manufacturer for interior flush wood doors in section 081416 - Part 2.3.

CHANGES TO THE DRAWINGS

DRAWING D1.1 – FIRST FLOOR - DEMOLITION PLAN (RE-ISSUED)

- 2) **ADD** keynote 2.21 to have drywall demolished to studs on exterior walls of band offices 110A & 110B walls after removal of acoustical carpet.

DRAWING A1.1 – FIRST FLOOR – CONSTRUCTION PLAN (RE-ISSUED)

- 3) **ADD** keynote 9.24 to add 5/8" type "x" abuse resistant drywall to exterior walls of offices 110A & 110B and paint with PT-2.
- 4) **CHANGE** references and elevation number from 2/A1.1 to 1/A3.1.
- 5) **DELETE** callout box from Practice Room 113B!
- 6) **DELETE** keynote 8.1 from doors 112-A & 113-A, those doors will not be replaced.
- 7) **DELETE** keynote 10.12 which offered duplicate information about projector screen.
- 8) **DELETE** keynote 10.12 which offered duplicate information about projector screen.
- 9) **MODIFY** keynote 11.1 to give clarity about how to mount salvaged projector screen.
- 10) **MODIFY** keynote 9.19 to remove mention of gypsum. Existing block walls under acoustical carpet are to be skimmed and painted.

DRAWING A2.1 – FIRST FLOOR – REFLECTED CEILING CONSTRUCTION PLAN (RE-ISSUED)

- 11) **MODIFY** keynote 2.20 to give clarity of fixture suspension height.

DRAWING A3.1 – INTERIOR ELEVATIONS (RE-ISSUED)

- 12) **CHANGE** references and elevation number from 2/A1.1 to 1/A3.1
- 13) **CHANGE** references and casework section number from 3/A1.1 to 3/A3.1

DRAWING A3.2 – INTERIOR ELEVATIONS (RE-ISSUED)

- 14) **MODIFY** leader note on new homasote panel to clarify band award plaque installation instructions.

DRAWING A9.1 – FINISH PLAN & DOOR SCHEDULE (RE-ISSUED)

- 15) **MODIFY** door schedule to provide more clarity on door sizing, finishes & hardware.
- 16) **MODIFY** door schedule to show change of door sizes on doors 111-A & 111-B. This change will appear graphically on all other sheets.
- 17) **DELETE** door types, NL-2 & NL-3 from door elevations.

- 18) **DELETE** note J from General Notes – Finishes.
- 19) **DELETE** note C from DOOR & FRAME NOTES

DRAWING E1.1 – ELECTRICAL POWER PLAN (RE-ISSUED)

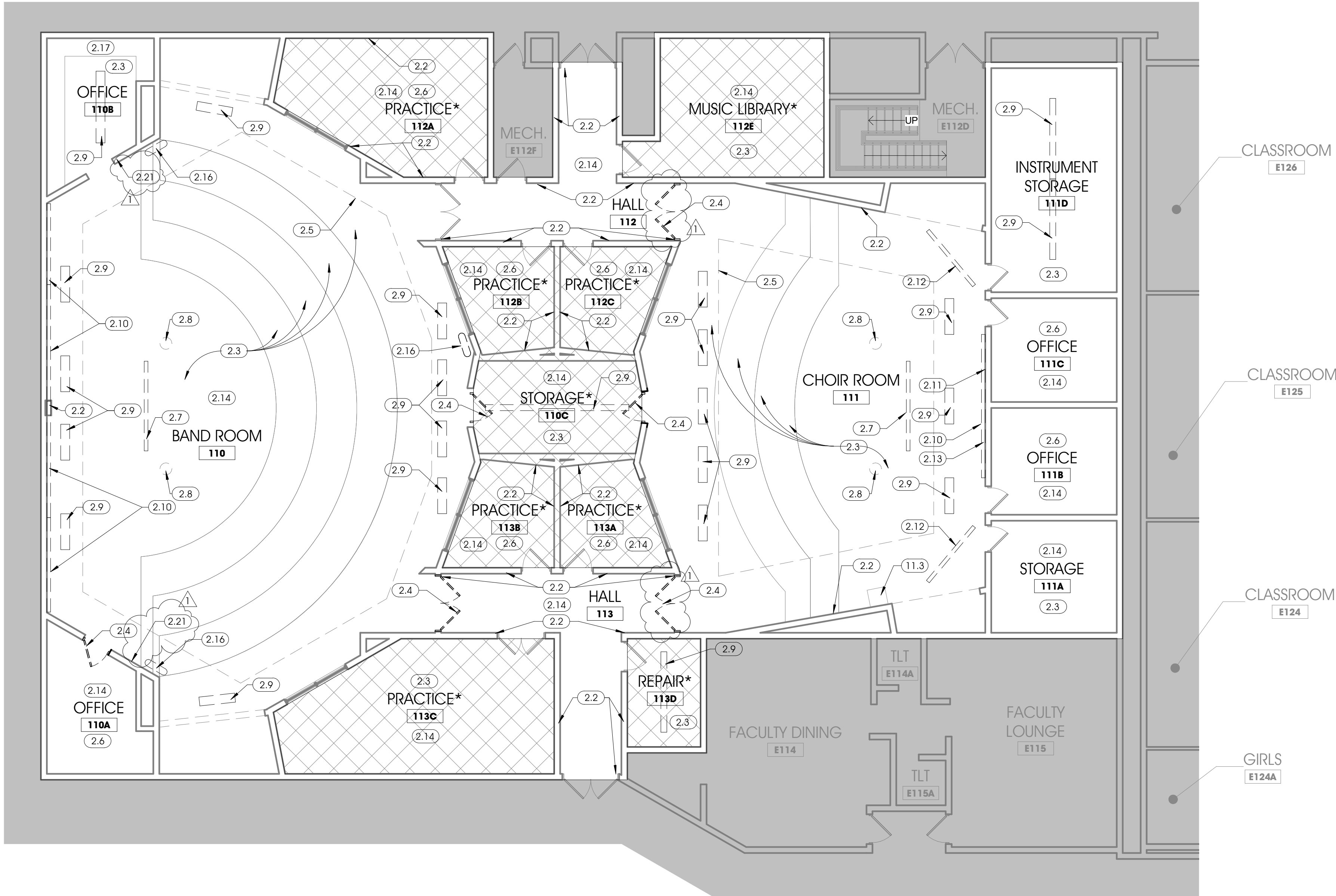
- 20) **ADD** occupancy sensor switch in office 110B.

QUESTIONS AND ANSWERS

- 21) DOOR & FRAME NOTES – Note B - where does this start and stop?
 - a) Refer to modified door schedule.
- 22) DOOR AND FRAME NOTES – Note C - are we providing a Knox Box?
 - a) No Knox box is needed for this project.
- 23) DOOR AND FRAME NOTES – Note E – Drawing T1.2 does not exist.
 - a) Remove note E on DOOR AND FRAME NOTES. Drawing T1.2 is not needed.
- 24) DOOR SCHEDULE – Frame Finish tells us to reference General Note H.
 - a) DOOR SCHEDULE is now modified for clarification. Reference Sheet A9.1
- 25) GENERAL NOTES – DOORS – NOTE A – If door hardware is found to be damaged will a CO be required?
 - a) Yes, if hardware on doors that aren't being replaced are found to be damaged a CO will be required.
- 26) GENERAL NOTES – DOORS- NOTE B – Did you specify soundproof doors?
 - a) No, there will not be a required STC rating for the doors in this project. Hardware will be added to new doors to address sound transmission. Reference Sheet A9.1 for hardware information.

END OF DOCUMENT

ITEMS TO REMOVE BEFORE DEMO OF WALL CARPET (TO BE REINSTALLED AFTER CONSTRUCTION):



GENERAL NOTES - DEMO

- A. DO NOT SCALE DRAWINGS - USE WRITTEN DIMENSIONS PROVIDED ONLY.
- B. ALL SPECIFIED ITEMS SHALL BE PROVIDED BY THE GENERAL CONTRACTOR AS COMPLETE SYSTEMS WITH ALL ACCESSORY ITEMS REQUIRED FOR A COMPLETE INSTALLATION. GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH ALL TRADES, CONSTRUCTION TYPES, ETC...TO PREVENT EXCLUSION OR DUPLICATION. GENERAL CONTRACTORS BIDS SHALL BE ALL INCLUSIVE.
- C. CONTRACTOR SHALL FIELD VERIFY ALL DOOR SIZES.
- D. CONTRACTOR SHALL FIELD VERIFY ALL FACETED WALL DIMENSIONS.
- E. ALL EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS TEMPORARILY REMOVED, SHALL BE CLEANED AND REINSTALLED.
- F. ALL EXISTING WALL DEVICES (OUTLETS, SWITCHES, ETC) SHALL BE RELOCATED TO NEW WALL SURFACES.
- G. WHERE MATERIALS ARE NOTED WITHOUT LEADER ARROWS, NOTED MATERIAL IS ASSUMED THROUGHOUT SPACE.

KEYNOTES - DEMO D1.1

KEYNOTE	DESCRIPTION
2.2	DEMO ACOUSTICAL WALL CARPET & SCRAPE UNDERLYING ADHESIVE TO PREPARE FOR REFINISHING
2.3	REMOVE EXISTING VCT FLOORING, STAIR NOSINGS AND RISER MATERIAL.
2.4	REMOVE EXISTING DOOR, EXISTING DOOR FRAMES TO REMAIN.
2.5	REMOVE AND SALVAGE EXISTING SUSPENDED CEILING CLOUD, INCLUDING CEILING TILES, LIGHT FIXTURES, ACOUSTIC INSULATION, FOR REINSTALLATION. REFER TO SHEET A2.1 FOR MORE INFORMATION.
2.6	GLUE DOWN BROADLOOM CARPET TO BE REMOVED.
2.7	REMOVE EXISTING TRACK LIGHTING IN ITS ENTIRETY.
2.8	REMOVE EXISTING MICROPHONE IN ITS ENTIRETY.
2.9	DEMO/ REMOVE EXISTING SUSPENDED LIGHT FIXTURES.
2.10	REMOVE EXISTING CHALKBOARD/ WHITEBOARD AND ALL RELATED ITEMS IN THEIR ENTIRETY. SALVAGE PROJECTOR SCREEN MOUNTING BRACKETS FOR REUSE
2.11	REMOVE EXISTING MIRRORS, FASTENERS, ADHESIVE, ETC... LEAVE WALLS CLEAN AND READY TO RECEIVE NEW FINISHES
2.12	REMOVE EXISTING TV/MONITOR FOR CONSTRUCTION. PROTECT FOR REUSE
2.13	REMOVE EXISTING PROJECTOR SCREEN & SCREEN MOUNTING SYSTEM. PROTECT FOR REUSE.
2.14	DEMO EXIST. ACOUSTICAL TILES. GRID TO REMAIN
2.16	REMOVE EXISTING WALL HUNG FANS & SALVAGE FOR RE-USE
2.17	EXISTING CABINETRY IN OFFICE 110B TO REMAIN PROTECT DURING DEMO & CONSTRUCTION
2.21	DEMO ACOUSTICAL WALL CARPET & UNDERLYING DRYWALL LAYER TO STUD.
11.3	EXISTING A/V RECIEVER CASE

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Fort Wayne

SCHOOL CITY OF
MISHAWAKA
MHS BAND AND CHOIR
RENOVATION
1202 LINCOLNWAY EAST
MISHAWAKA, IN 46544

FIRST FLOOR - DEMOLITION
PLAN

MODELED BY:
DESIGNED BY:
PM REVIEW:
QA/QC REVIEW:
DATE:
SEAL:

CMM, JCH
ARD
MDN
MDN
2/22/2023

ARVIN RIC DELACRUZ
REGISTERED
AR11300061
STATE OF
INDIANA
PROFESSIONAL ARCHITECT

SIGNATURE:

DATE:

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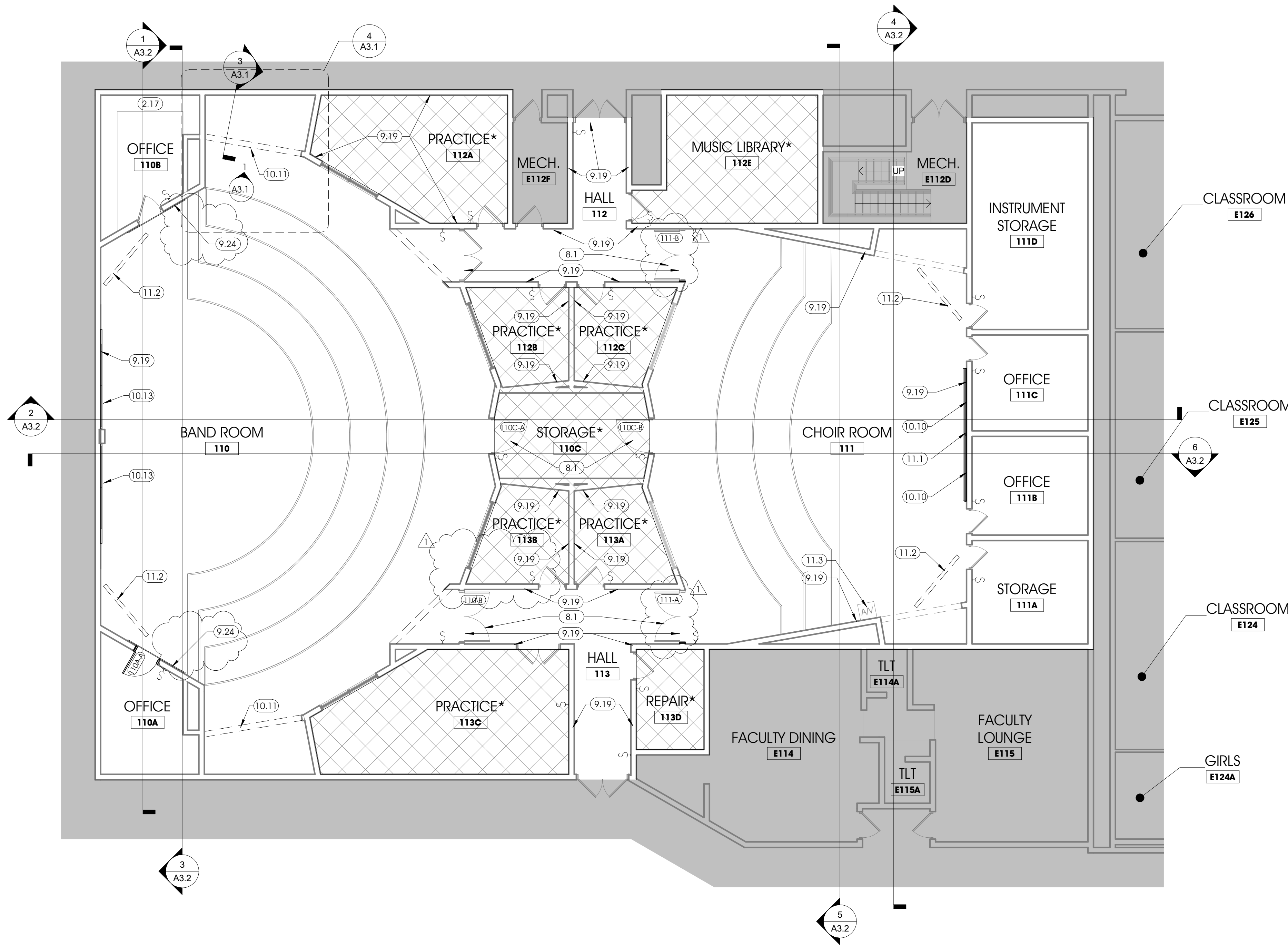
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22-1722
SHEET NO.

1	Addendum #2	JCH	3/3/2023
NO.	REVISION DESCRIPTION	BY	DATE

D1.1

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1
A1.1 FIRST FLOOR - CONSTRUCTION PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES - FLOOR PLAN

- A. DO NOT SCALE DRAWINGS - USE WRITTEN DIMENSIONS PROVIDED ONLY
- B. BAND AND CHOIR ROOM WALLS ARE CMU (U.N.O.)
- C. EXISTING TV/MONITORS SHALL REMAIN. TEMPORARILY REMOVE AND REINSTALL AS REQUIRED FOR NEW CONSTRUCTION/FINISHES. PROVIDE WIREMOLD AND CABLE MANAGEMENT FOR ALL POWER AND DATA CABLING FROM TV TO ALL OUTLETS AND DEVICES (TYP)
- D. CABLE MOLD DATA AND POWER CABLING SEPERATE.
- E. GROUT IN HOLES IN CONCRETE WALL SURFACES FROM ALL REMOVED WALL MOUNTED FIXTURES.
- F. ALL AREAS WHERE ACOUSTICAL CARPET WAS DEMOLISHED SCRAPE, REPAIR, AND FINISH WALLS TO LEVEL 4 FINISH.

SCOPE OF WORK

BASE BID ☐

ALTERNATE #1 ☐

OUTSIDE OF SCOPE ☐

KEYNOTES - CONST. A1.1	
KEYNOTE	DESCRIPTION
2.17	EXISTING CABINETRY IN OFFICE 110B TO REMAIN PROTECT DURING DEMO. & CONSTRUCTION.
8.1	NEW WOOD NARROW LIGHT PANEL WOOD DOORS REFERENCE SHEET A9.1 FOR DOOR INFO. PAINT FRAME PT-3
9.19	REFINISH WALL AFTER CARPET DEMO. SKIM ALL REVEALED EXISTING BLOCK FROM FLOOR TO CEILING AND FINISH TO LEVEL 4, PAINT WITH PT-2
9.24	ADD NEW 5/8" TYPE "X" ABUSE RESISTANT DRYWALL TO STUDS AND PAINT WITH PT-2
10.10	PROVIDE 48"X96" PREMIUM FRAMELESS PAINTED EDGE PORCELAIN MAGNETIC WHITEBOARD, 2 BAR MOUNT, WITH FULL BLADE MARKER TRAY FROM BRITE INC. / US MARKERBOARD PHONE: 800-791-2946 REF. ESTIMATE# E350626 ACCOUNT# 1377222
10.11	NEW SHELVING SYSTEM FOR PLAM LOCKERS REFER TO SHEET A3.1
10.13	PROVIDE 48"X144" PREMIUM FRAMELESS PAINTED EDGE PORCELAIN MAGNETIC WHITEBOARD, 2 BAR MOUNT, WITH FULL BLADE MARKER TRAY FROM BRITE INC. / US MARKERBOARD PHONE: 800-791-2946 REF. ESTIMATE# E350626 ACCOUNT# 1377222
11.1	MOUNT SALVAGED RETRACTABLE PROJECTION SCREEN TO WALL 1" UNDER HVAC SUPPLY DIFFUSERS USING SALVAGED PROJECTOR BRACKET
11.2	REMOVE AND REINSTALL ALL TELEVISIONS FOR CONSTRUCTION. PROVIDE WIRE MOLDS FOR CABLE MANAGEMENT.

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SCHOOL CITY OF
MISHAWAKA
MHS BAND AND CHOIR
RENOVATION
1202 LINCOLNWAY EAST
MISHAWAKA, IN 46544

FIRST FLOOR - CONSTRUCTION
PLAN

SHEET TITLE:

MODELED BY: CMM, JCH

DESIGNED BY: ARD

PM REVIEW: MDN

QA/QC REVIEW: MDN

DATE: 2/22/2023

SEAL:
ARVIN RIC DELACRUZ
REGISTERED
AR11300061
STATE OF INDIANA
PROFESSIONAL ARCHITECT

SIGNATURE:
DATE:

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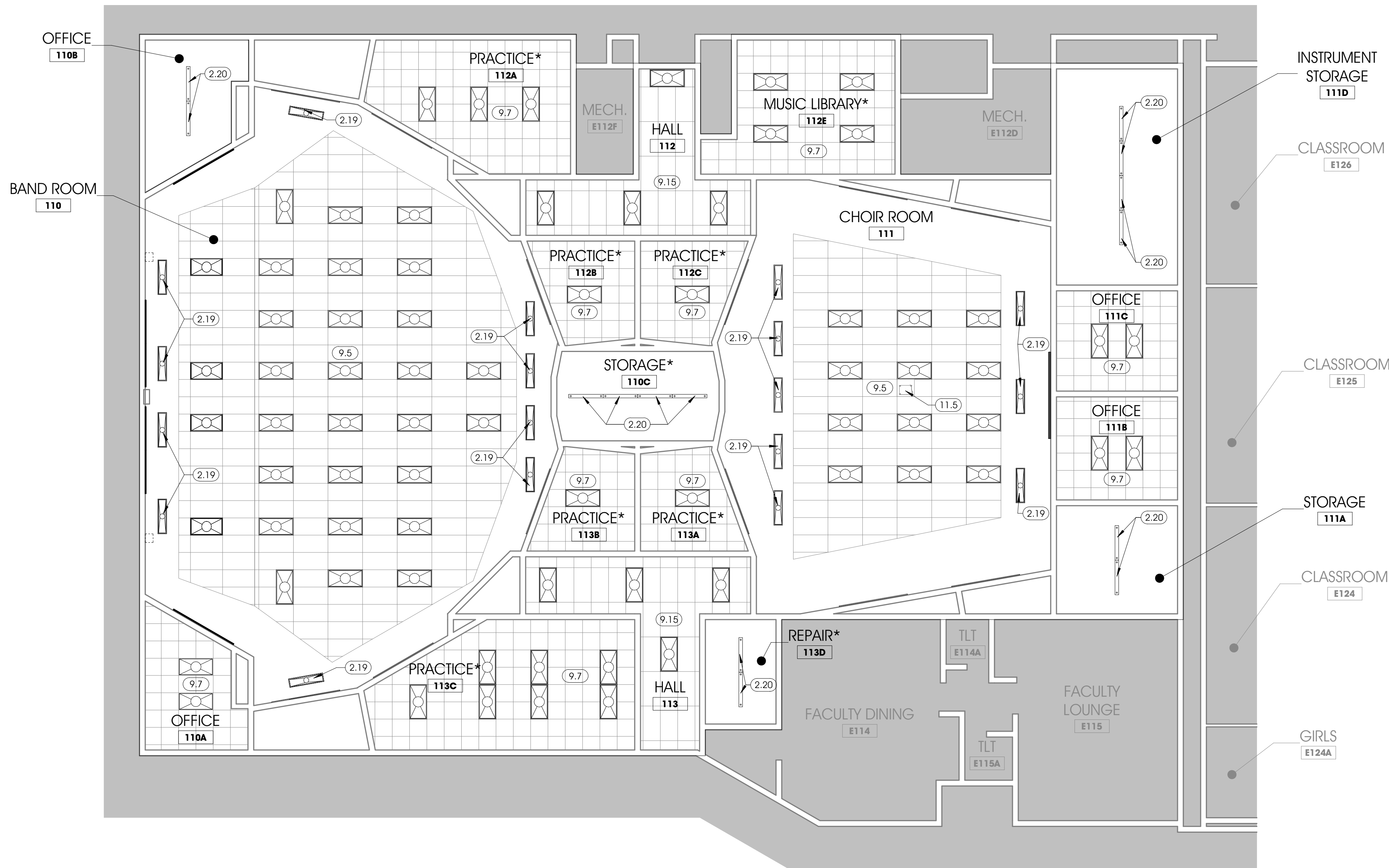
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22-1722

SHEET NO.
A1.1

1	Addendum #2	JCH	3/3/2023
NO.	REVISION DESCRIPTION	BY	DATE

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1 REFLECTED CEILING PLAN - FIRST FLOOR
A2.1 SCALE: 1/8" = 1'-0"

GENERAL NOTES - REFLECTED CEILING PLAN/ ELECTRICAL POWER & LIGHTING PLAN

- DO NOT SCALE DRAWINGS - USE WRITTEN DIMENSIONS PROVIDED ONLY.
- REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO VERIFY ALL ELECTRICAL BREAKERS IN DESIGNATED SCOPE ARE DEACTIVATED PRIOR TO CONSTRUCTION.
- NEW LIGHT FIXTURES TO BE INSTALLED IN SAME LOCATION AS EXIST. FIXTURES.
- DATA AND POWER CABLES TO BE CABLE MOLDED SEPERATELEY.
- SWITCH FROM SINGLE POLE SWITCHES TO 3-WAY OF MATCHING STYLE AND COLOR AS NEEDED
- ALL NEW DIMMER SWITCHES TO BE CURRENT LIGHTING RSD710-UNV-WVL 120 V IN COLOR: WHITE
- ALL REGULAR SWITCHES TO BE REPLACED TO LEVITON 5601-2AW IN COLOR: WHITE
- ALL OCCUPANCY SENSOR SWITCHES SHALL BE LEVITON ODS06
- ALL L3 FIXTURES TO BE SUSPENDED FROM CEILING USING #12 SINGLE LOOP, ZINC PLATED STEEL JACK CHAIN.

SCOPE OF WORK

- BASE BID ☐
- ALTERNATE #1 ☒
- OUTSIDE OF SCOPE ☐

KEYNOTES - CONST. A2.1

KEYNOTE	DESCRIPTION
2.19	SURFACE MOUNT NEW LED LIGHT FIXTURES IN SAME LOCATION AS EXIST.
2.20	MOUNT NEW SUSPENDED LED LIGHT FIXTURES USING #12 SINGLE LOOP, ZINC PLATED STEEL JACK CHAIN SUSPENSION HARDWARE IN SAME LOCATION AS EXIST AT 10' AFF TO BOTTOM OF FIXTURE.
9.5	REPLACE EXISTING CEILING TILES W/ ACT-2 AND PAINT GRID PT-4. REASSEMBLE ACOUSTICAL CLOUD TO MATCH EXISTING CONDITIONS.
9.7	PAINT EXISTING GRID PT-4. INSTALL NEW CEILING TILES ACT-1
9.15	PAINT EXISTING GRID PT-4. INSTALL NEW CEILING TILES ACT-2
11.5	REMOVE AND REINSTALL SALVAGED PROJECTOR ON ACOUSTICAL CLOUD.

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RENOVATION
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MISHAWAKA, IN 46544

FIRST FLOOR - REFLECTED CEILING CONSTRUCTION PLAN

SHEET TITLE:

MODELED BY:
CMM, OGG, JCH

DESIGNED BY:
ARD

PM REVIEW:
MDN

QA/QC REVIEW:
MDN

DATE:
2/22/2023

SEAL:

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SIGNATURE:

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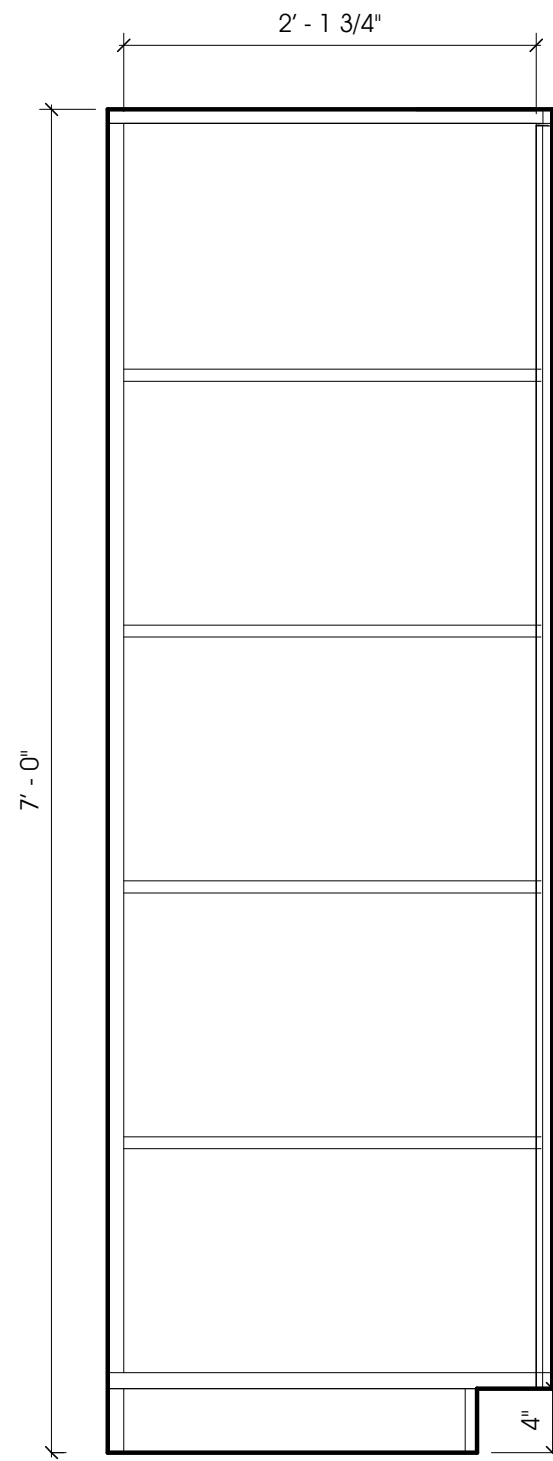
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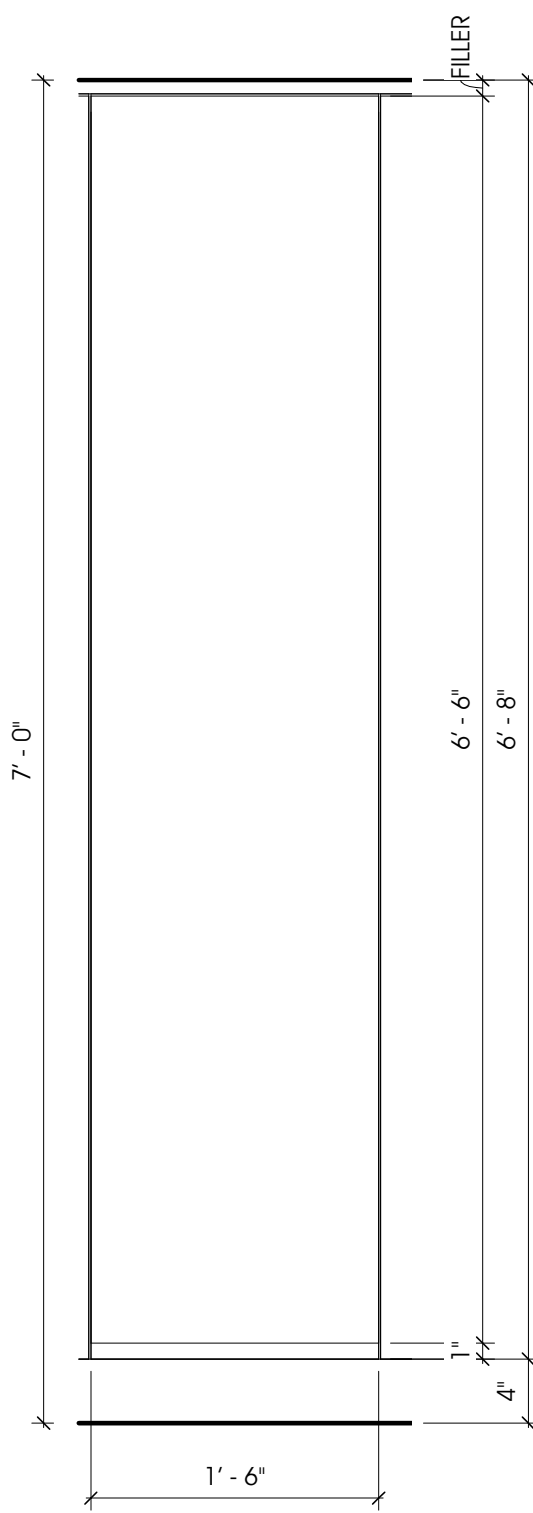
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1	Addendum #2	JCH	3/3/2023
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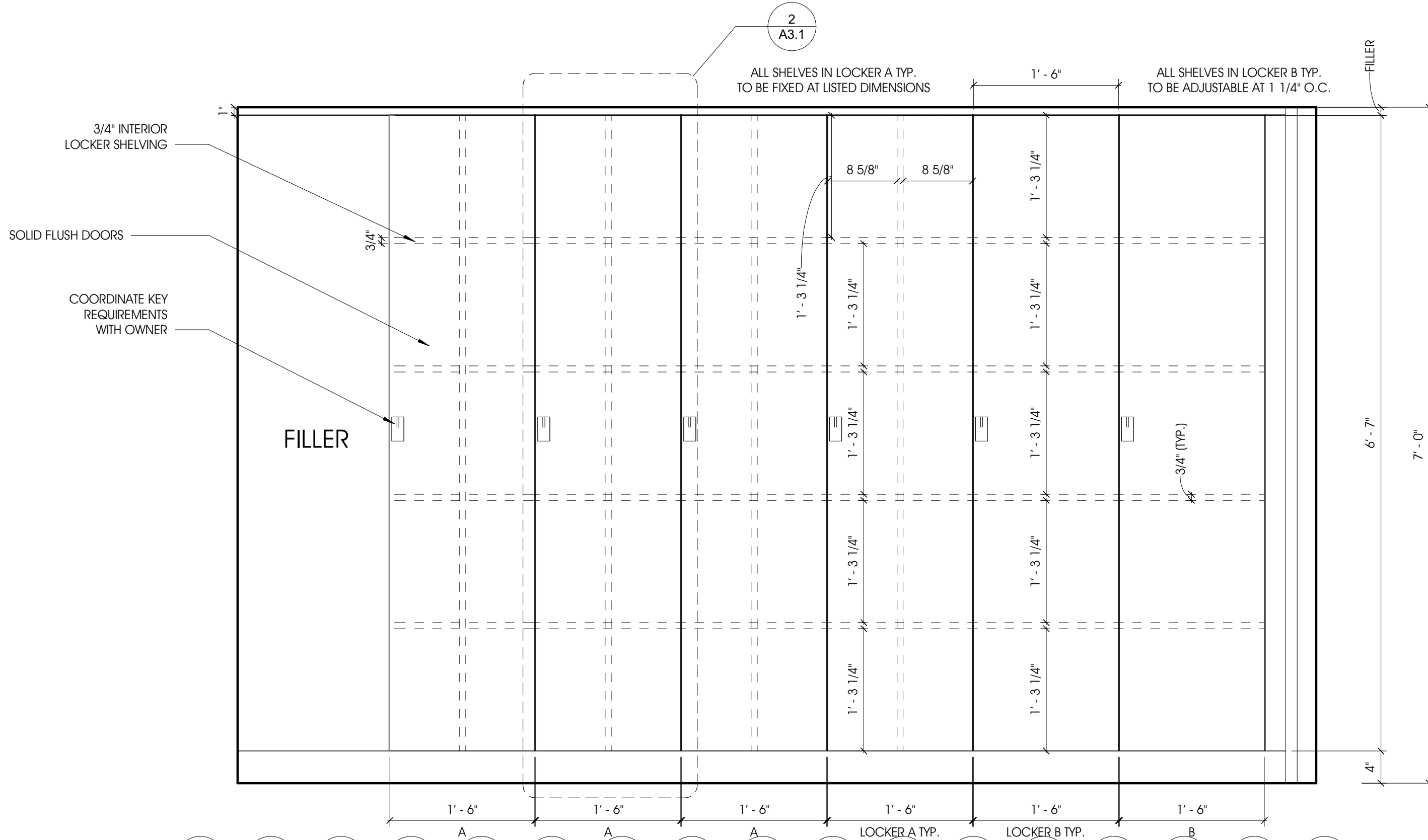
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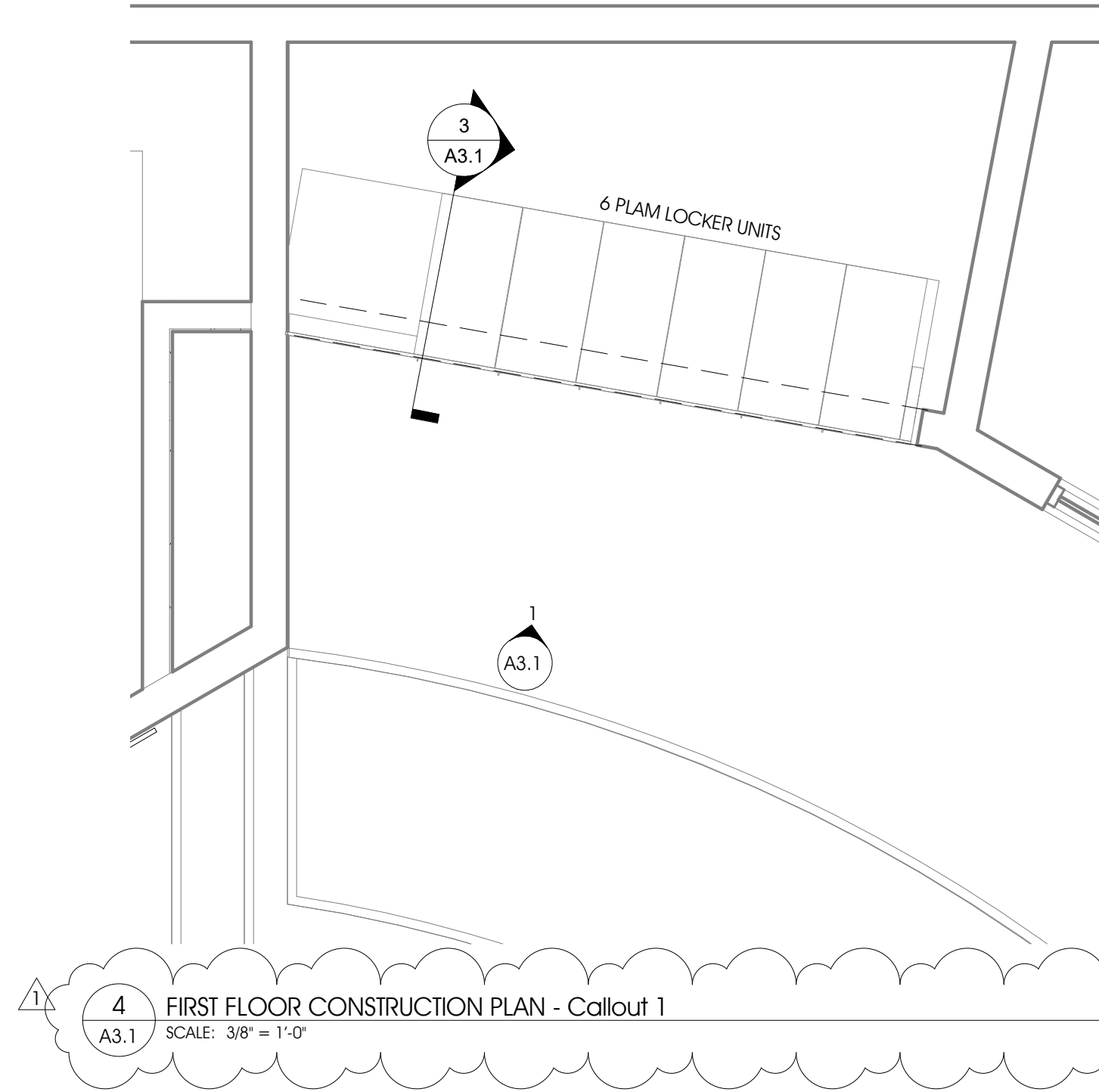
3 CASEWORK SECTION - LOCKERS (TYP)
A3.1 SCALE: 1" = 1'-0"



2 CASEWORK ELEVATION - LOCKERS (TYP)
A3.1 SCALE: 1" = 1'-0"



1 INTERIOR ELEVATION - LOCKERS (TYP)
A3.1 SCALE: 1" = 1'-0"



4 FIRST FLOOR CONSTRUCTION PLAN - Callout 1
A3.1 SCALE: 3/8" = 1'-0"

- GENERAL NOTES - INTERIOR ELEVATIONS**
- A. ALL EXIST. INTERIOR SHELVING & DIVIDERS TO BE REMOVED
 - B. NEW LOCKER SHELVING SHALL BE INSTALLED ACCORDING TO 1/A3.1
 - C. PROVIDE ACOUSTIC SEALANT BETWEEN CEILING AND WALL (TYPICAL).
 - D. ALL LOCKER DIMENSIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
 - E. INTERIOR DIVIDERS OF LOCKERS SHALL BE 3/4" THICK PARTICLE BOARD FINISHED WITH W/ WHITE MELAMINE.
 - F. EXTERIOR PANELS & DOORS OF LOCKERS SHALL REMAIN. PROTECT DURING CONSTRUCTION.
 - G. LOCKER LAYOUT IN ELEVATION 1/A3.1 SHALL BE MIRRIORED @ OPPOSITE SIDE OF BAND ROOM LOCKER LOCATION.

KEYNOTES - CONST. A3.1	
KEYNOTE	DESCRIPTION

PROJECT:

SCHOOL CITY OF
MISHAWAKA
MHS BAND AND CHOIR
RENOVATION
1202 LINCOLNWAY EAST
MISHAWAKA, IN 46544

SHEET TITLE:

INTERIOR ELEVATIONS

MODELED BY:

CMM, OGG, JCH

DESIGNED BY:

ARD

PM REVIEW:

MDN

QA/QC REVIEW:

MDN

DATE:

2/22/2023

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22-1722

SHEET NO.

A3.1

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Addendum #2

JCH

3/3/2023

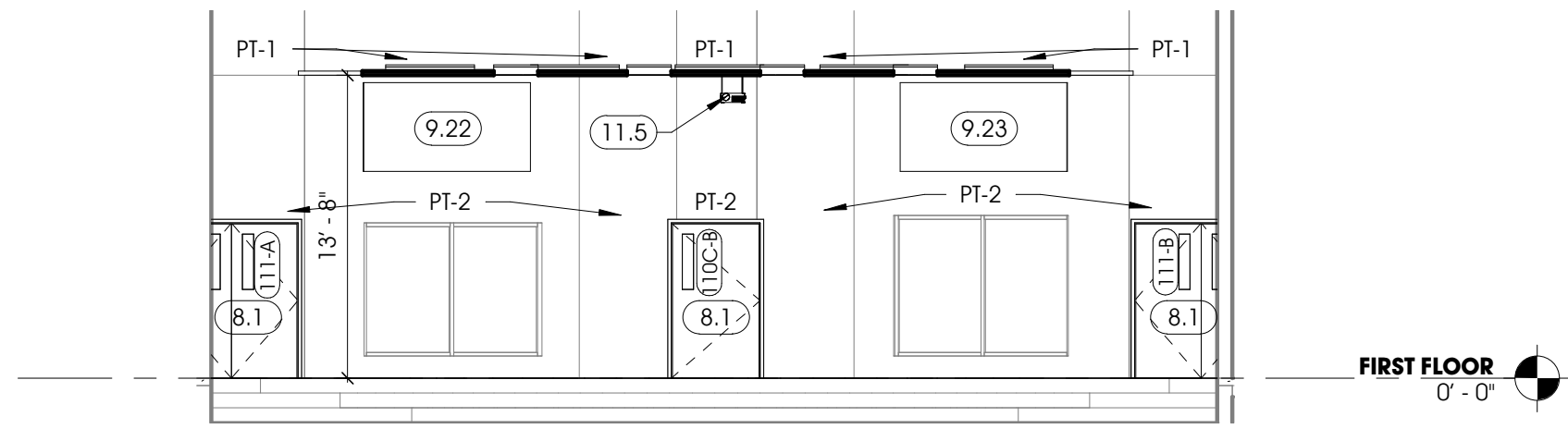
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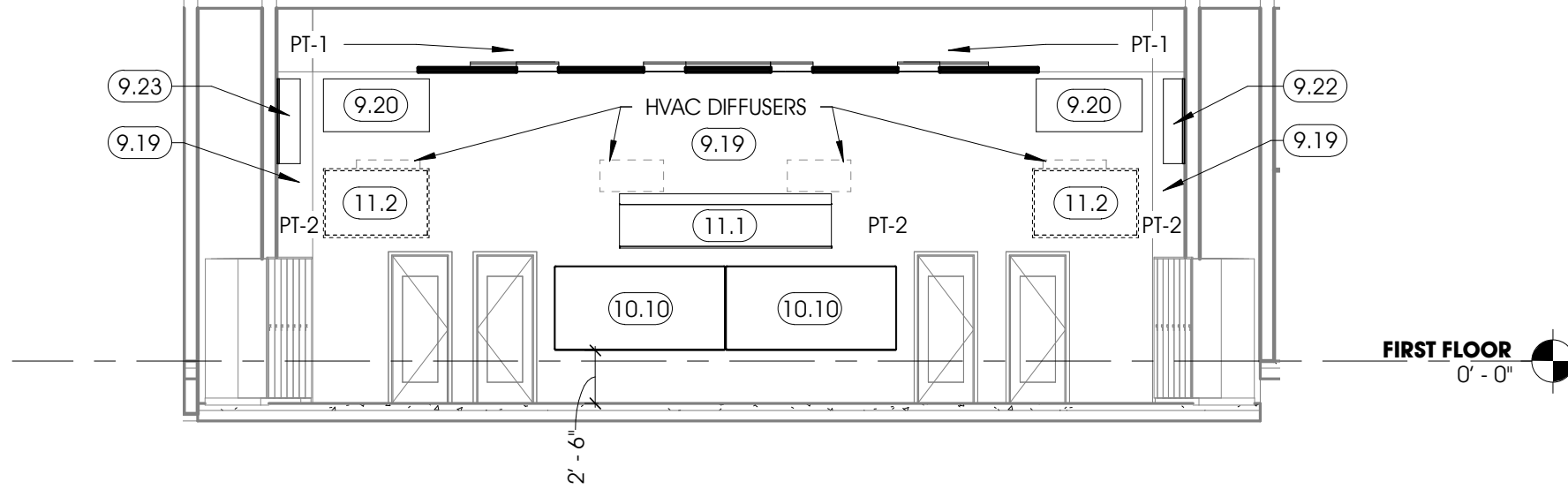
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DATE

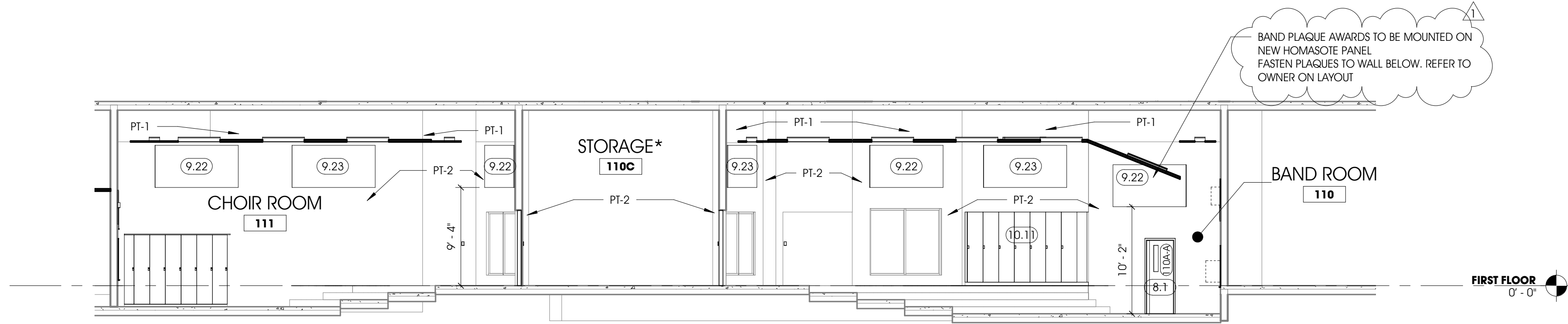
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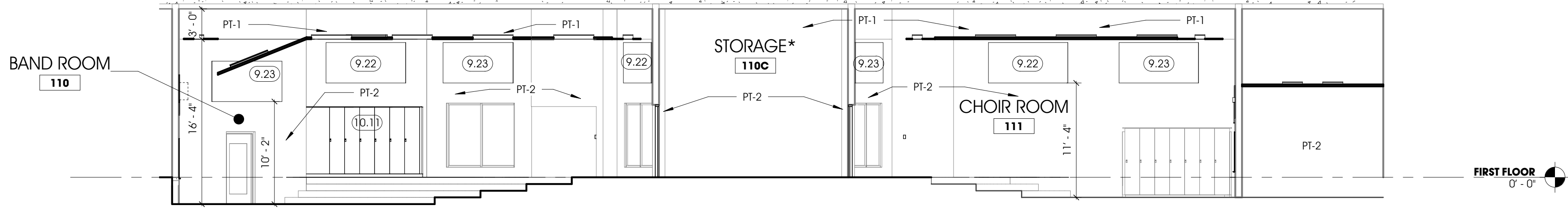
5 CHOIR ROOM - WEST
A0.1 SCALE: 1/8" = 1'-0"



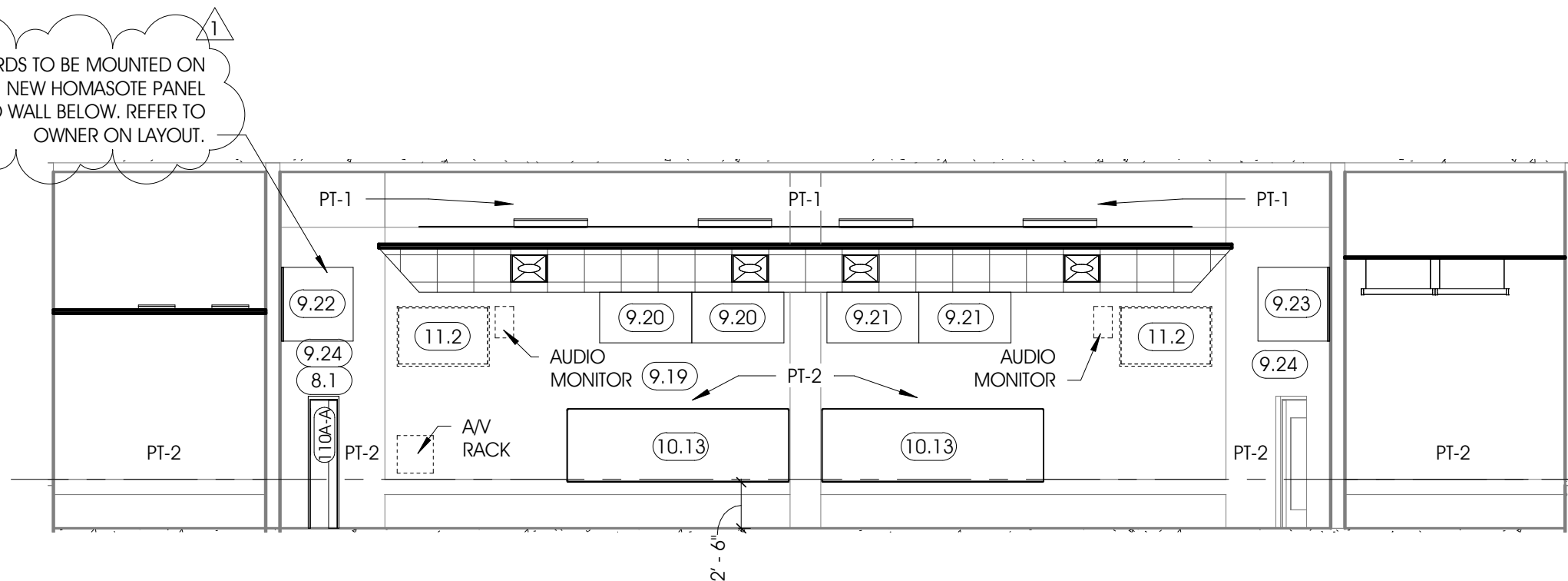
4 CHOIR ROOM - EAST
A1.1 SCALE: 1/8" = 1'-0"



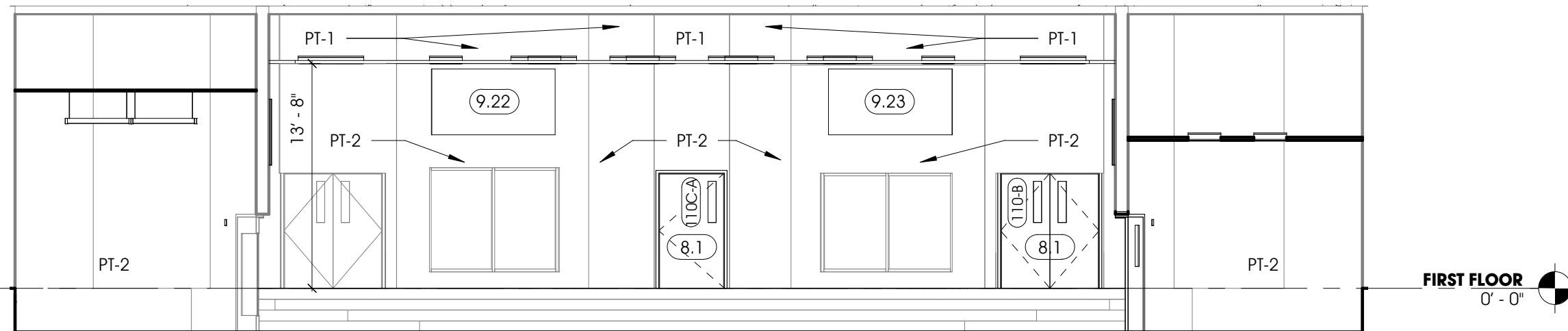
6 SECTION 1 @ BAND & CHOIR ROOMS
A1.1 SCALE: 1/8" = 1'-0"



2 SECTION 2 @ BAND & CHOIR ROOMS
A1.1 SCALE: 1/8" = 1'-0"



3 BAND REHEARSAL ROOM - WEST
A1.1 SCALE: 1/8" = 1'-0"



1 BAND REHEARSAL ROOM - EAST
A1.1 SCALE: 1/8" = 1'-0"

GENERAL NOTES - INTERIOR ELEVATIONS

- ALL EXIST. INTERIOR SHELVING & DIVIDERS TO BE REMOVED
- NEW LOCKER SHELVING SHALL BE INSTALLED ACCORDING TO 1/A3.1
- PROVIDE ACOUSTIC SEALANT BETWEEN CEILING AND WALL (TYPICAL).
- ALL LOCKER DIMENSIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- INTERIOR DIVIDERS OF LOCKERS SHALL BE 3/4" THICK PARTICLE BOARD FINISHED WITH W/ WHITE MELAMINE.
- EXTERIOR PANELS & DOORS OF LOCKERS SHALL REMAIN. PROTECT DURING CONSTRUCTION.
- LOCKER LAYOUT IN ELEVATION 1/A3.1 SHALL BE MIRRORIED @ OPPOSITE SIDE OF BAND ROOM LOCKER LOCATION.

KEYNOTES - CONST. A3.2

KEYNOTE	DESCRIPTION
8.1	NEW WOOD NARROW LIGHT PANEL WOOD DOORS REFERENCE SHEET A9.1 FOR DOOR INFO. PAINT FRAME PT-3
9.19	REFINISH WALL AFTER CARPET DEMO. SKIM ALL REVEALED EXISTING BLOCK FROM FLOOR TO CEILING AND FINISH TO LEVEL 4, PAINT WITH PT-2
9.20	30"x60" RECTANGULAR HOMASOTE ACOUSTICAL WALL PANELS WRAPPED IN GUILFORD OF MAINE ACOUSTIC FABRIC FR701 - 2100-238
9.21	30"x60" RECTANGULAR HOMASOTE ACOUSTICAL WALL PANELS WRAPPED IN GUILFORD OF MAINE ACOUSTIC FABRIC FR701 - 2100-418
9.22	48"x96" RECTANGULAR HOMASOTE ACOUSTICAL WALL PANELS WRAPPED IN GUILFORD OF MAINE ACOUSTIC FABRIC FR701 - 2100-418
9.23	48"x96" RECTANGULAR HOMASOTE ACOUSTICAL WALL PANELS WRAPPED IN GUILFORD OF MAINE ACOUSTIC FABRIC FR701 - 2100-238
9.24	ADD NEW 5/8" TYPE "X" ABUSE RESISTANT DRYWALL TO STUDS AND PAINT WITH PT-2
10.10	PROVIDE 48"x96" PREMIUM FRAMELESS PAINTED EDGE PORCELAIN MAGNETIC WHITEBOARD, 2 BAR MOUNT, WITH FULL BLADE MARKER TRAY FROM BRITE INC./ US MARKERBOARD PHONE: 800-791-2946 REF. ESTIMATE# E350626 ACCOUNT# 1377222
10.11	NEW SHELVING SYSTEM FOR PLAM LOCKERS REFER TO SHEET A3.1
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11.1	MOUNT SALVAGED RETRACTABLE PROJECTION SCREEN TO WALL 1" UNDER HVAC SUPPLY DIFFUSERS USING SALVAGED PROJECTOR BRACKET
11.2	REMOVE AND REINSTALL ALL TELEVISIONS FOR CONSTRUCTION. PROVIDE WIRE MOLDS FOR CABLE MANAGEMENT.

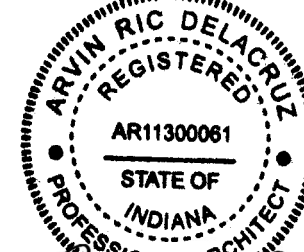
PROJECT: SCHOOL CITY OF MISHAWAKA
MHS BAND AND CHOIR RENOVATION
1202 LINCOLNWAY EAST
MISHAWAKA, IN 46544

INTERIOR ELEVATIONS

SHEET TITLE:

MODELED BY: CMM, JCH
DESIGNED BY: ARD
PM REVIEW: MDN
QA/QC REVIEW: MDN
DATE: 2/22/2023

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ACI JOB #

22-1722

SHEET NO.

A3.2

1	Addendum #2	JCH	3/3/2023
NO.	REVISION DESCRIPTION	BY	DATE

* = ALTERNATE #1

ROOM SCHEDULE

RM. NO.	ROOM NAME	FLOORING		BASE	NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		CEILING	BULKHEAD	REMARKS
		MATERIAL	FINISH		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	FINISH	FINISH	
110	BAND ROOM	CONC.	LVT-1	RB-1	CONC.	PT-1, PT-2	CONC.	PT-1, PT-2	CONC.	PT-1, PT-2	CONC.	PT-1, PT-2	ACT-2/PT-4	PT-2	
110A	OFFICE	CONC.	CPT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	
110B	OFFICE	CONC.	CPT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	-	-	
110C	STORAGE*	CONC.	LVT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	-	-	*ALTERNATE 01
111	CHOIR ROOM	CONC.	LVT-1	RB-1	CONC.	PT-1, PT-2	CONC.	PT-1, PT-2	CONC.	PT-1, PT-2	CONC.	PT-1, PT-2	ACT-2/PT-4	PT-2	
111A	STORAGE	CONC.	LVT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	-	-	
111B	OFFICE	CONC.	CPT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	
111C	OFFICE	CONC.	CPT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	
111D	INSTRUMENT STORAGE	CONC.	LVT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	-	-	
112	HALL	CONC.	EXIST.	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-2/PT-4	-	
112A	PRACTICE*	CONC.	LVT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	*ALTERNATE 01
112B	PRACTICE*	CONC.	CPT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	*ALTERNATE 01
112C	PRACTICE*	CONC.	CPT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	*ALTERNATE 01
112E	MUSIC LIBRARY*	CONC.	LVT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	*ALTERNATE 01
113	HALL	CONC.	EXIST.	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-2/PT-4	-	
113A	PRACTICE*	CONC.	CPT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	*ALTERNATE 01
113B	PRACTICE*	CONC.	CPT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	*ALTERNATE 01
113C	PRACTICE*	CONC.	LVT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	ACT-1/PT-4	-	*ALTERNATE 01
113D	REPAIR*	CONC.	LVT-1	RB-1	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	CONC.	PT-2	-	-	*ALTERNATE 01

DOOR SCHEDULE

No.	ROOM	DOOR		TYPE	PANEL		FRAME		HARDWARE SET	REMARKS
		HANDLING	W x H		MATERIAL	FINISH	GLAZING	GLAZING		
110-B	110 BAND REHEARSAL	RHR-DBL	6'-0" x 7'-0"	NL-1	SOLID	WOOD	STAIN	NL	GROUP 03	1" INSUL. GLAZING
110A-A	110A OFFICE	RH	3'-0" x 7'-0"	NL-1	SOLID	WOOD	STAIN	NL	GROUP 01	1" INSUL. GLAZING
110B-A	110B OFFICE	-	3'-0" x 7'-0"	-	SOLID	-	-	-	-	ONLY PAINT DOOR JAMB AND FRAME
110C-A	110C STORAGE	LH	4'-0" x 7'-0"	NL-2	SOLID	WOOD	STAIN	NL	GROUP 01	1" INSUL. GLAZING
110C-B	110C STORAGE	RH	4'-0" x 7'-0"	NL-2	SOLID	WOOD	STAIN	NL	GROUP 01	1" INSUL. GLAZING
111-A	111 CHORAL/ORCHESTRA REHEARSAL	RHR-DBL	6'-0" x 7'-0"	NL-1	SOLID	WOOD	STAIN	NL	GROUP 03	1" INSUL. GLAZING
111-B	111 CHORAL/ORCHESTRA REHEARSAL	RHR-DBL	6'-0" x 7'-0"	NL-1	SOLID	WOOD	STAIN	NL	GROUP 03	1" INSUL. GLAZING
111A-A	111A STORAGE	-	2'-8" x 7'-0"	-	SOLID	-	-	-	-	ONLY PAINT DOOR JAMB AND FRAME
111B-A	111B OFFICE	-	2'-8" x 7'-0"	-	SOLID	-	-	-	-	ONLY PAINT DOOR JAMB AND FRAME
111C-A	111C OFFICE	-	2'-8" x 7'-0"	-	SOLID	-	-	-	-	ONLY PAINT DOOR JAMB AND FRAME
111D-A	111D INSTRUMENT STORAGE	-	2'-8" x 7'-0"	-	SOLID	-	-	-	-	ONLY PAINT DOOR JAMB AND FRAME
112-A	112 HALL	RHR-DBL	6'-0" x 7'-0"	NL-1	HOLLOW	WOOD	STAIN	NL	GROUP 01	1" INSUL. GLAZING
112A-A	112 HALL	-	3'-0" x 7'-0"	-	SOLID	-	-	-	-	ONLY PAINT DOOR JAMB AND FRAME
112B-A	112B PRACTICE	LH	3'-0" x 7'-0"	-	SOLID	-	-	-	-	ONLY PAINT DOOR JAMB AND FRAME
112C-A	112C PRACTICE	-	3'-0" x 7'-0"	-	SOLID	-	-	-	-	ONLY PAINT DOOR JAMB AND FRAME
112E-A	112E MUSIC LIBRARY	-	3'-0" x 7'-0"	-	SOLID	-	-	-	-	ONLY PAINT DOOR JAMB AND FRAME
113-A	113 HALLWAY	RHR-DBL	6'-0" x 7'-0"	NL-1	HOLLOW	WOOD	STAIN	NL	GROUP 01	1" INSUL. GLAZING
113A-A	113A PRACTICE	-	3'-0" x 7'-0"	-	SOLID	-	-	-	-	ONLY PAINT DOOR JAMB AND FRAME
113B-A	113B PRACTICE	-	3'-0" x 7'-0"	-	SOLID	-	-	-	-	ONLY PAINT DOOR JAMB AND FRAME
113C-A	113C PRACTICE	-	5'-0" x 7'-0"	-	SOLID	-	-	-	-	ONLY PAINT DOOR JAMB AND FRAME
113D-A	113D REPAIR	-	3'-0" x 7'-0"	-	SOLID	-	-	-	-	ONLY PAINT DOOR JAMB AND FRAME
E112F-A	E112F MECHANICAL	-	3'-0" x 7'-0"	-	SOLID	-	-	-	-	ONLY PAINT DOOR JAMB AND FRAME

DOOR & FRAME NOTES

- EXIST DOORS & FRAMES SCHEDULED TO REMAIN SHALL BE CLEANED AS REQUIRED FOR TYPE.
- EXISTING DOOR FRAMES AND JAMBS LISTED IN SCHEDULE ARE TO BE PAINTED PT-3.
- PROVIDE MECHANICAL SIGNAGE. MATCH OWNER STANDARD.
- NEW WOOD DOORS SHALL MATCH OWNERS STANDARDS. (SIMILAR TO DOOR 110-A).
- HARDWARE FOR NEW DOORS SHALL MATCH EXIST. OWNERS STANDARD. (SIMILAR TO DOOR 110-A).
- CONTRACTOR SHALL FIELD VERIFY EXIST. DOOR PANEL AND FRAME DIMENSIONS AS REQ.

DOOR HARDWARE GROUPS

- PROVIDE SILENCERS AT ALL DOORS (TYP)
- PROVIDE NEW HARDWARE AT ALL EXIST. DOORS SCHEDULED TO REMAIN IF SPECIFIED HARDWARE DOES NOT EXIST. FINISH SHALL MATCH EXIST.
- CONTRACTOR SHALL REPAIR/ CONCEAL HOLES AT ALL EXISTING DOORS WHERE EXISTING HARDWARE IS REMOVED.
- ALL EXISTING INTERIOR DOOR FRAMES SCHEDULED TO REMAIN SHALL BE PROPERLY PREPPED, PRIMED, & PAINTED PT-3.
- PROVIDE THE FOLLOWING HARDWARE FOR EACH GROUP
 - NEW HARDWARE GRADE AND FINISH SHALL MATCH EXISTING.
 - IF UNKNOWN, PROVIDE GRADE 1 - HEAVY DUTY COMMERCIAL USAGE
 - ALL HARDWARE SHALL BE HEAVY DUTY & MATCH OWNER STANDARDS

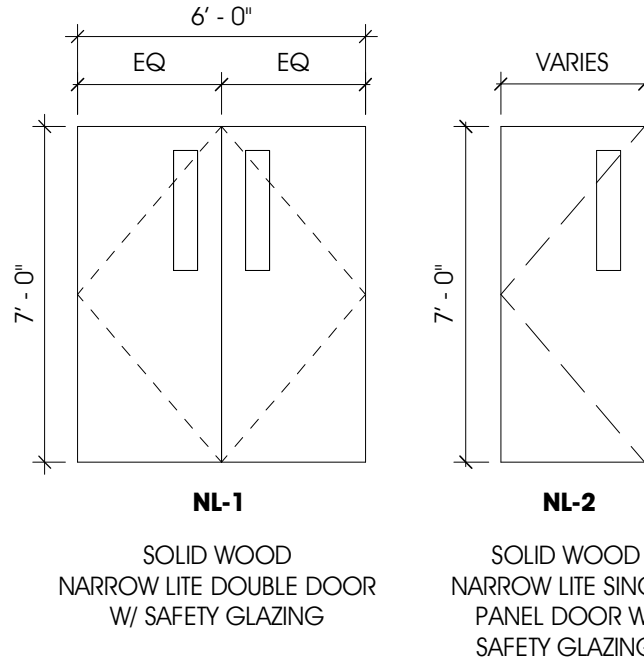
GROUP 1 - OFFICE/CONFERENCE

LEVER HANDLE
SCHLAGE PRIMUS HIGH SECURITY CYLINDERS
ADD AT ALL NEW DOORS;
DOOR CLOSERS
SOUND SEALS AT PERIMETER
AUTOMATIC DOOR BOTTOM
SILENCERS
WALL DOOR STOPS

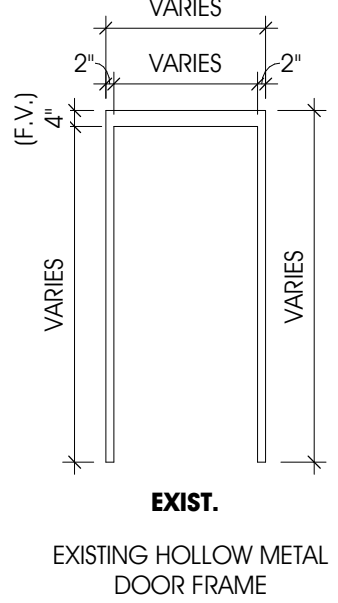
GROUP 3 - PASSAGE

NEW LEVER HANDLE
SCHLAGE PRIMUS HIGH SECURITY CYLINDERS
ADD AT ALL NEW DOORS;
DOOR CLOSERS
SOUND SEALS AT PERIMETER
AUTOMATIC DOOR BOTTOM
SILENCERS
WALL DOOR STOPS

DOOR ELEVATIONS



DOOR FRAMES



GENERAL NOTES - FINISHES

- PREP & PRIME ALL SURFACES TO RECEIVE FINISHES PER MFR. REQUIREMENTS.
- PROVIDE COMPATIBLE PRIMER PER PAINT MFR. WRITTEN REQUIREMENTS.
- PRIME REVEALED CONC. WALLS FROM UNDER CARPETING WITH ONE COAT OF S-W PROMAR 200 LATEX PRIMER, SEMI-GLOSS (820-600 SERIES).
- PRIME METAL DOORS, DOOR JAMBS, AND ACOUSTICAL CEILING GRID WITH ONE COAT OF PRO INDUSTRIAL DTM ACRYLIC PRIMER/FINISH, SATIN (866-W-11 SERIES).
- PROVIDE TEMPERED GLAZING IN ALL DOORS AS REQUIRED BY CODE.
- COORDINATE KEYING REQUIREMENTS WITH OWNER.
- ALL FLOORING TRANSITIONS TO BE MADE IN MIDDLE OF DOOR PANELS.
- CONTRACTOR SHALL AVOID USING TRANSITIONS AS POSSIBLE. SELF LEVEL AS NEEDED TO MATCH FLOORING HEIGHTS
- CONTRACTOR SHALL VERIFY ALL DOOR SIZES PRIOR TO ORDERING
- PAINT ALL DOOR FRAMES & JAMBS IN SCOPE PT-3. REFERENCE MATERIAL FINISH LEGEND.
- INSTALL NEW 6" BASE AND NOSINGS AT ALL RISERS. REFERENCE MATERIAL FINISH LEGEND.
- ALL LVT SHALL BE INSTALLED IN ASHLAR PATTERN. REFERENCE MATERIAL FINISH LEGEND.
- ALL CARPET TILES SHALL BE INSTALLED IN MONOLITHIC PATTERN. REFERENCE MATERIAL FINISH LEGEND.
- WHERE EXIST. BUILT IN CABINETRY IS TO REMAIN. LAY FLOORING FLUSH TO TOE KICK
- AS DIRECTED BY ROOM FINISH SCHEDULE PAINT EXISTING CEILING GRID IN PLACE AND REPLACE EXIST. CEILING TILES WITH NEW.

MATERIAL FINISH LEGEND

TYPE	MARK	DESCRIPTION	MANUFACTURER	STYLE	PATTERN/COLOR	REMARKS
BASE & TRIM	RB-1	RESILIENT BASE	JOHNSONITE	STANDARD 4" COVE	40 BLACK B	HORIZONTAL BASE TO REPLACE ALL EXISTING
	RB-2	RESILIENT BASE	JOHNSONITE	6" NO TOE	40 BLACK B	REFER FOR VERTICAL APPLICATIONS ADJACENT TO STRIPS. RP HEIGHT AS NEEDED
	SN-1	STAIR NOSING	JOHNSONITE/FAIRFET	VDL-X09Q	40 BLACK B	1/8" MATERIAL AT ALL RISINGS
WALLS & DOORS	TS-1	TRANSITION STRIP	JOHNSONITE	SBR-X08 B 1 5/8" BRIDGE BAR	40 BLACK B	EXISTING VCT/ TERRAZZO TO CARPET AS REQUIRED. SELF LEVEL TO AVOID TRANSITION STRIP IF POSSIBLE.
	PT-1	PAINT	SHERWIN WILLIAMS	PROMAR 200 ACRYLIC LATEX	SW6258 - TRICORN BLACK	CLG/STRUCTURE ABOVE CLOUD, AND GYP WALLS AT UPPER 3FT ONLY. SHOWN AS BASE BOT. ON DRAWINGS
	PT-2	PAINT	SHERWIN WILLIAMS	PROMAR 200 ACRYLIC LATEX	SHERWIN WILLIAMS - SCHOOL CITY WHITE IN SEMI-GLOSS	WALL COLOR UP TO REFIN. CUSTOM COLOR SHALL MATCH OWNER'S STANDARD.
	PT-3	PAINT	SHERWIN WILLIAMS	PRO INDUSTRIAL DTM ACRYLIC	SHERWIN WILLIAMS - MISHAWAKA MAROON IN SEMI-GLOSS	STEEL DOORS AND ALL JAMBS, AND FRAMES COLOR. CUSTOM COLOR SHALL MATCH OWNER'S STANDARD.
FLOORING	CPT-1	CARPET	MOHAWK	LEARN & LIVE SERIES - G1418 - SWIRL BRIGHT TILE	BROOKWOOD - 969	BASE CARPET TILE - MONOLITHIC PATTERN
	LVT-1	VINYL TILE	MILKLEN	LUMENOCLOGY	LIGHT SWITCH - DIM LLS13	5MM 9.84" X 39.37" LUXURY VINYL TILE - BRCK ASHLAR PATTERN
CEILING	ACT-1	ACOUSTIC CEILING TILE	USG	RADAR BASIC 2120 2'X2' SHADOWLINE TAPERED TONED MINERAL BASE	WHITE	INSTALL IN AREAS WHERE EXIST GRID IS 2'X2'. REFERENCE SHEET 1(A2.1).
	ACT-2	ACOUSTIC CEILING TILE	USG	RADAR ELUSION 2840 TWO 24 PANELS SHADOWLINE TAPERED TONED MINERAL BASE	WHITE	INSTALL IN AREAS WHERE EXIST GRID IS 2'X4'. REFERENCE SHEET 1(A2.1).

GENERAL NOTES - DOORS

- CONTRACTOR SHALL REINSTALL EXISTING HARDWARE FROM EXISTING DOORS (TYP). IF HARDWARE IS DAMAGED, CONTRACTOR SHALL PROVIDE NEW HARDWARE TO MATCH EXISTING.
- PROVIDE SOUND SEAL GASKETING, AUTOMATIC DOOR BOTTOMS & SILENCERS AT ALL NEW DOORS
- CONTRACTOR SHALL FIELD VERIFY THAT ALL EXISTING DOOR FRAMES TO REMAIN ARE GROUTED SOLID

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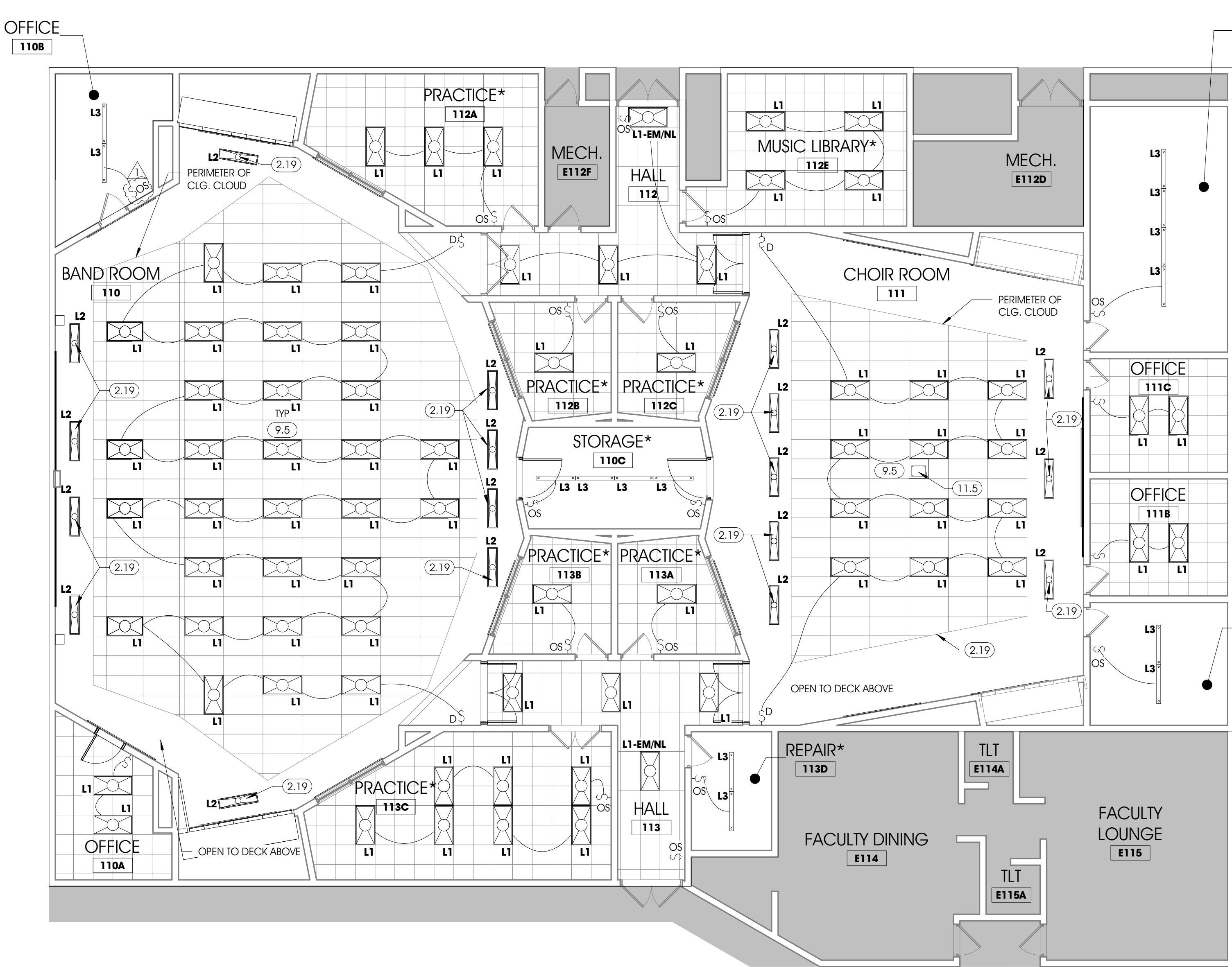
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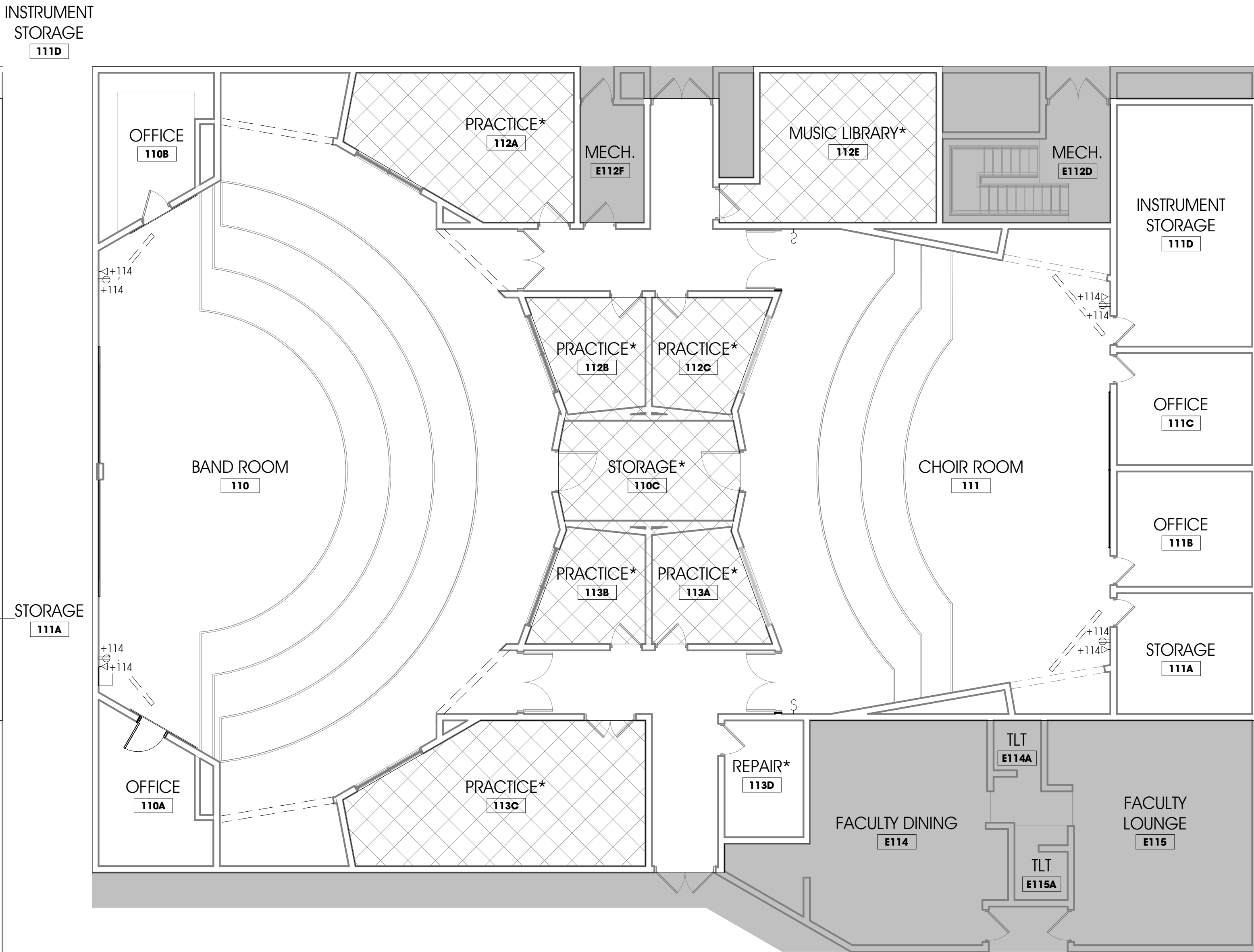
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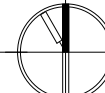
O:\Projects\2022\22-1722 SCOM HS Band and Choir Renovation\1 Drawing Files_Arch\ Revit



2 FIRST FLOOR REFLECTED CEILING PLAN - LIGHTING PLAN
E1.1 SCALE: 1/8" = 1'-0"



1 FIRST FLOOR - ELECTRICAL POWER PLAN
E1.1 SCALE: 1/8" = 1'-0"









GENERAL NOTES - REFLECTED CEILING PLAN/ ELECTRICAL POWER & LIGHTING PLAN

- A. DO NOT SCALE DRAWINGS - USE WRITTEN DIMENSIONS PROVIDED ONLY.
- B. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- C. CONTRACTOR TO VERIFY ALL ELECTRICAL BREAKERS IN DESIGNATED SCOPE ARE DEACTIVATED PRIOR TO CONSTRUCTION.
- D. NEW LIGHT FIXTURES TO BE INSTALLED IN SAME LOCATION AS EXIST. FIXTURES.
- E. DATA AND POWER CABLES TO BE CABLE MOLDED SEPARATELY.
- F. SWITCH FROM SINGLE POLE SWITCHES TO 3-WAY OF MATCHING STYLE AND COLOR AS NEEDED
- G. ALL NEW DIMMER SWITCHES TO BE CURRENT LIGHTING RSD710-UNV-WVL 120 V IN COLOR: WHITE
- H. ALL REGULAR SWITCHES TO BE REPLACED TO LEVITON 5601-2AW IN COLOR: WHITE
- I. ALL OCCUPANCY SENSOR SWITCHES SHALL BE LEVITON ODS06
- J. ALL L3 FIXTURES TO BE SUSPENDED FROM CEILING USING #12 SINGLE LOOP, ZINC PLATED STEEL JACK CHAIN.

FIXTURE SCHEDULE

ALL NEW 2x2 FIXTURES MOUNTED TO S.A.T. SHOWN TO BE L1

L1	LITHONIA 24" LED PANEL CPX - 2X4 - 4000LM 35K M2
L1-EM	LITHONIA 24" LED PANEL CPX - 2X4 - 4000LM 35K M2 EMERGENCY LIGHT FIXTURE
L1-EM/NL	LITHONIA 24" LED PANEL CPX - 2X4 - 4000LM 35K M2 EMERGENCY LIGHT/ NIGHT LIGHT
L2	COLUMBIA LIGHTING 12"X48" LED TROFFER - CB11 4-LS35 W/ SURFACE MOUNT KIT SRPSMK14
L3	COLUMBIA LIGHTING MPS4-35MW-FW-E W/ CSHC CHAIN HANGER ASSEMBLY
CAT-6 DATA LINE	
DUPLEX RECEPTACLE	
DW DUPLEX RECEPTACLE	 DW
SINGLE POLE SWITCH	
SINGLE POLE SWITCH W/ DIMMER	 D
OCCUPANCY SENSOR SWITCH	 OS

PROJECT: SCHOOL CITY OF
MISHAWAKA
MHS BAND AND CHOIR
RENOVATION
1202 LINCOLNWAY EAST
MISHAWAKA, IN 46544

FIRST FLOOR - ELECTRICAL POWER PLAN

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DATE: 2/22/2023

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ARVIN RIC DELACRUZ
REGISTERED
AR11300061
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E1.1

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